



**CITY OF WAUWATOSA**  
**COMMUNITY DEVELOPMENT COMMITTEE**  
**MINUTES • SEPTEMBER 10, 2013**

**Regular Meeting****Committee Room #1****8:00 PM**

7725 West North Avenue, Wauwatosa, WI 53213

<b>Attendee Name</b>	<b>Title</b>	<b>Status</b>	<b>Arrived</b>
James Moldenhauer	Alderman	Present	
Kathleen Causier	Aldерwoman	Present	
Jeffrey Roznowski	Alderman	Present	
Gregory Walz-Chojnacki	Alderman	Present	
Dennis McBride	Alderman	Present	
Bobby Pantuso	Alderman	Present	
Cheryl Berdan	Aldерwoman	Present	
Jason Wilke	Alderman	Present	
Paulette Enders	Development Director	Present	

**COMMUNITY DEVELOPMENT COMMITTEE ITEMS**

1. Proposed 2013 zoning code housekeeping updates for introduction (set public hearing date)

In an August 20, 2013 memo, Principal Planner Tammy Szudy outlined several amendments that staff is recommending be made to the recently adopted Zoning Code. After working with the Code for a period of months, staff has identified areas requiring further clarification or slight modifications in order to function more effectively. Staff recommends introduction of an ordinance amending various sections of Chapter 24 and setting a November 5, 2013 public hearing date for these Zoning Code housekeeping updates. The item is scheduled to return to the Committee on November 12th for discussion and recommendation.

The Plan Commission recommended approval 6-0 on September 9th. However, they held two of the recommended amendments for further analysis and discussion. These items refer to 24.06.040C pertaining to the height of principal and accessory buildings in the Public Facilities District, and to 24.07.040M pertaining to short-term rental of residential homes.

It was moved by Ald. Causier, seconded by Ald. Berdan to recommend approval of a resolution setting a public hearing date of November 5, 2013 before the Common Council, and to further recommend introduction of an ordinance incorporating these amendments. Committee concurs with holding the two aforementioned items for further discussion. -8

<b>RESULT:</b>	<b>RECOMMENDED FOR APPROVAL [UNANIMOUS] Next: 9/17/2013 7:30 PM</b>
<b>TO:</b>	Common Council
<b>MOVER:</b>	Kathleen Causier, Alderwoman
<b>SECONDER:</b>	Cheryl Berdan, Alderwoman
<b>AYES:</b>	Moldenhauer, Causier, Roznowski, Walz-Chojnacki, McBride, Pantuso, Berdan, Wilke

2. Request by Keith Schultz, SchultzWerk Architecture, and the Wauwatosa Woman's Club for a Change of Zoning from R1-6 District to C1 District at 7517 Milwaukee Avenue (set public hearing date)

Ms. Enders introduced the item, stating that the Wauwatosa Woman's Club recently purchased the adjacent residential property at 7515 Milwaukee Avenue and are in the process of demolishing the structures with the intent of expanding their parking lot to the east. This property is zoned residential (R1-6 District); to construct a parking lot, the zoning needs to be changed to C1 District, which is consistent with the zoning of the Woman's Club parcel.

The item was considered by the Plan Commission on September 9th and failed on a 3-3 vote.

Staff recommends introduction of an ordinance changing the zoning as indicated above, and further recommends setting a November 5, 2013 public hearing date for this proposal. The item is scheduled to return to the Committee on November 12th for discussion and additional information will be provided to Committee prior to that meeting.

It was moved by Ald. McBride, seconded by Ald. Pantuso to recommend approval of a resolution setting a public hearing date of November 5, 2013 before the Common Council, and to further recommend introduction of an ordinance changing the zoning. -8

<b>RESULT:</b>	<b>RECOMMENDED FOR APPROVAL [UNANIMOUS] Next: 9/17/2013 7:30 PM</b>
<b>TO:</b>	Common Council
<b>MOVER:</b>	Dennis McBride, Alderman
<b>SECONDER:</b>	Bobby Pantuso, Alderman
<b>AYES:</b>	Moldenhauer, Causier, Roznowski, Walz-Chojnacki, McBride, Pantuso, Berdan, Wilke

3. Request by John Steiner and Milton Investments for a Conditional Use in the C1 District at 6818 West North Avenue for a restaurant

Ms. Enders reviewed a request by John Steiner and Milton Investments for a Conditional Use at 6818 W. North Avenue for a restaurant. The applicants want to open a seafood/sushi restaurant on North Avenue in the building adjacent to Rocket Baby Bakery. The proposed restaurant would seat 51 inside with outdoor seating for 12 at the front of the building. No encroachment is necessary as there is approximately five feet of private property located between the sidewalk and the building. The proposed hours of operation are 3 p.m. to bar time daily with outdoor dining hours of 4 p.m. to 11 p.m.

In addition to an extensive remodel, a 1,300 sq. ft. restaurant addition is proposed that roughly triples size of the building. The stand-alone residential structure at the rear of the property will be demolished and a new residential unit for employee housing will be attached to the restaurant. The zoning code requires the

addition of off-street parking for any enlargements or expansions - overall, four spaces are required for the restaurant and two spaces are necessary for the residential unit, for a total requirement of six spaces. By demolishing the existing house, three parking spaces off of the alley are provided as well as a location for the dumpsters. The Board of Public Works can approve an exception to this requirement. Bike parking will be provided at the front of the building.

The proposed capacity of the building is approaching an occupancy classification that could require a fire suppression system, such as sprinklers. If the Fire Department determines that sprinklers are required, there might be issues with the water supply. The applicants have not yet contacted the Fire Department regarding fire suppression but will need to do so in order to obtain building permits.

Staff recommends approval with the following conditions:

1. establishing hours of operation
2. creating a living unit for employee housing only, not a rental for the general public
3. complying with building and fire code regulations
4. applying to the Board of Public Works for an exception of three parking spaces
5. applying for a parking lot permit from the Engineering Division
6. obtaining all other necessary licenses and permits
7. monitoring waste disposal for smells and vermin

John Kesselmen, 10620 W. Port Washington Road, Mequon, was present on behalf of Milton Investments. As previously indicated, the existing salon will be expanded to accommodate the new use. A total of three tables is proposed for the outdoor dining. Demolishing a house currently on the property will create space for additional parking, and storage for refuse dumpsters and snow.

In addressing the creation of employee housing, Mr. Kesselmen explained that this step is being taken to accommodate the Asian culture where employees are typically provided housing by employers. The chefs will be coming from Japan.

It was moved by Ald. Pantuso, seconded by Ald. Moldenhauer to recommend approval of the Conditional Use, contingent upon the seven aforementioned conditions. -8

Ald. Pantuso acknowledged that parking along this segment of North Avenue has become problematic, largely due to recent developments. The City needs to continue working to mitigate the parking problems without discouraging further development on this street.

<b>RESULT:</b>	<b>RECOMMENDED FOR APPROVAL [UNANIMOUS] Next: 9/17/2013 7:30 PM</b>
<b>TO:</b>	Common Council
<b>MOVER:</b>	Bobby Pantuso, Alderman
<b>SECONDER:</b>	James Moldenhauer, Alderman
<b>AYES:</b>	Moldenhauer, Causier, Roznowski, Walz-Chojnacki, McBride, Pantuso, Berdan, Wilke

4. Request by Anthony DeRosa, WP Property Acquisitions LLC, and David Israel, Lears Wisconsin LLC, for a preliminary Planned Development at 1215 North 62nd Street for a multifamily development

Ms. Enders reviewed a request by Anthony DeRosa, WP Property Acquisitions LLC, and David Israel,

Learsi Wisconsin LLC, for a preliminary Planned Development at 1215 North 62<sup>nd</sup> Street for a multifamily development. The applicants propose to construct a 169-unit multifamily development on the 10-acre former Western Metals property. Two four-story buildings (three levels of apartments and at grade enclosed parking) are located on the eastern and western sides of the site and four two-story buildings are located in the center of the development. The project was designed around the following factors: site contamination, the adjacent Grede foundry, and the historic Schoonmaker Reef. The main driveway is along the south, providing a buffer to the foundry and a direct connection to the adjacent retail development. The south property line is also heavily screened to buffer views of the foundry. A significant portion of the site is green space, including a dog park for residents. Additional amenities include a pool and clubhouse.

In July, the Plan Commission first reviewed a proposed development consisting of 126-units in seven two-story buildings. The Plan Commission held this item and asked the developer to address density issues to provide a more urban design, reduce outdoor parking spaces and have more parking under the buildings, and to consider additional or better entrance and exits for vehicles.

The Plan Commission reviewed the current proposal on August 12<sup>th</sup> and recommended approval 5-0 with the following conditions:

1. plans showing adequate sewer capacity, environmental remediation and storm water management subject to approval by the city engineer
2. plans for water supply to the site subject to approval by the city water superintendent
3. building plans designating design and materials recommended by the Design Review Board;
4. conservation easement and access easement granted for the Schoonmaker Reef per City specifications
5. developer's agreement approved by the Common Council
6. appropriate sensitivity to and maintenance of historic site from recommendations of the Historic Preservation Commission
7. sensitivity to exhaust issues brought up at Plan Commission
8. obtaining all necessary licenses and permits

After the Plan Commission meeting, Reef experts Don Mikulic (senior paleontologist, Illinois Geological Survey at the University of Illinois in Champaign) and Joanne Kluessendorf (Director of the Weis Earth Science Museum at UW-Fox Valley in Menasha), submitted an email expressing concern with the location of the westernmost building as well as the location of the pathways and parking lot. This information was provided to the applicant and they are planning to meet with the geologists the next time they are in Wauwatosa.

Prior to the economic downturn, the City approved a planned unit development, and the related change of zoning, by a different applicant for a 224-unit multifamily development, consisting of 142 condominium units and 82 senior housing rental units.

Tony DeRosa, WP Property Acquisitions LLC, was present. This ten-acre site used to house the Western Metals Company, and contains significant contamination, including groundwater contamination. It has been idle since the demolition of the buildings on site.

Since the July Plan Commission meeting, they have worked with the staff to address concerns raised about design and density. The resulting work has created a project with a more urban 'feel' appropriate to the location. The project is unique in that these apartments will have more of a condo-like feel; approximately 40-45% of the units will have private entrances and garages.

Eric Harmon, AG Architecture, 1414 Underwood Avenue, explained that the project will have two four-story 'bookend' buildings at the east and west ends of the property to continue the urban scale. Two-story

buildings will be constructed in the center; their placement was altered somewhat to place them further into the center of the site while still creating more green space between buildings. Some private gardens will be able to be created near the Reef. Additional green space has been created near the garages. Amenities will include a club house and pool and a small dog park. Buildings are currently sited fifteen feet from the Reef, but they may still be pulled farther south to increase the barrier size.

Mr. DeRosa confirmed that they will be meeting the geologists on-site on September 20th to exactly delineate the Reef's dimensions, and are prepared to shift buildings to the south as needed.

Funds were allocated for additional site lighting, security, fencing, sidewalks, and public access to the Reef per a 2007 developer's agreement with the City.

Ald. McBride commended the developer for their response to suggestions made at previous Plan Commission meetings. This new plan and architectural revisions reflect a more urban style consistent with the area. This project will increase the City's property tax base and reclaim unused land. The increased density will also decrease the level of TIF monies involved

In response to a query about remediation costs, it was noted the 2007 developer's agreement allocated \$1.9 million dollars. Building demolition cost \$78,000; \$300,000 was earmarked for Reef improvements. Some of the site's soil will have to be removed and transported off-site due to the level of contamination. Additional drilling into bedrock is being done to determine the extent of the ground water contamination so a proper remediation plan can be drafted and implemented. Vapor mitigation efforts under some of the buildings are also required. It is thought that additional clean-up may cost another \$1 - \$1.3 million dollars.

Mr. Harmon addressed the question of public access to the Reef, noting that a small existing asphalt lot may be used as an access point to a trail created along the Reef. Access from the project itself to the Reef will also be created through a retaining wall cut-through. Mr. DeRosa added that the geologists will help them determine how and where access would be best created. Schoonmaker Reef presents an educational opportunity for the developers.

Mr. DeRosa also stated that they have been in touch with the Wisconsin Economic Development Corporation and are exploring options concerning the availability of remediation grants.

It was moved by Ald. McBride, seconded by Ald. Pantuso to recommend approval contingent upon the eight aforementioned conditions. -8

<b>RESULT:</b>	<b>RECOMMENDED FOR APPROVAL [UNANIMOUS] Next: 9/17/2013 7:30 PM</b>
<b>TO:</b>	Common Council
<b>MOVER:</b>	Dennis McBride, Alderman
<b>SECONDER:</b>	Bobby Pantuso, Alderman
<b>AYES:</b>	Moldenhauer, Causier, Roznowski, Walz-Chojnacki, McBride, Pantuso, Berdan, Wilke

- Request by Phil Aiello, Mandel Group Properties, LLC, and David Gilbert, UWM Real Estate Foundation, for a Planned Development Amendment at approximately 9722 Watertown Plank Road to construct a multifamily development and related development in the Eschweiler buildings

Ms. Enders introduced a request by Phil Aiello, Mandel Group Properties, LLC, and David Gilbert, UWM

Real Estate Foundation, for a Planned Development Amendment at approximately 9722 Watertown Plank Road to construct a multi-family development and related development in the Eschweiler buildings.

The Mandel Group proposes to construct a 188-unit residential development on 8.5 acres (Lot 4) at Innovation Campus. Two scenarios are proposed for this development, with the difference being the possible redevelopment of the Eschweiler buildings. Due to site constraints, both scenarios include new development consisting of six three-story buildings with underground parking wrapping around the Eschweiler buildings and demolition of the powerhouse (northernmost building). In Plan A, all four historic Eschweiler buildings are preserved for use by the Forestry Exploration Center (FEC) charter school, or some other compatible use. Some apartment amenities will also be located in the Administration building.

In Plan B, if the FEC or some other compatible use does not materialize, Mandel will rehabilitate the Administration building for apartment amenities and office space for non-profits. Two Eschweiler buildings (Dormitory and Dairy) will be converted to walled gardens and the Engineering building will be demolished.

Two conditions on the 2010 original resolution approving Innovation Campus specifically relate to this development. Condition #7 limits the residential development, including the Eschweilers, to 200,000 sq. ft. It is staff's understanding that this figure was a ballpark number based on a construction professional's best guesstimate at the time as to how much new development was necessary to support rehabilitation of the historic buildings. Both Mandel options exceed this figure - Plan A calls for approximately 277,500 sq.ft. of residential development, and Plan B creates 237,500 sq.ft. However, as this application is an amendment, previous conditions placed on the development can be modified.

The other condition, #14, designated the Historic Preservation Commission as the design review board for the entire residential development. On July 17<sup>th</sup>, the Commission conceptually approved the design and materials for this development. In addition, as the Eschweiler buildings are a designated historic district, the Historic Preservation Commission was required to approve a Certificate of Appropriateness for the two development scenarios, which occurred on May 13, 2013.

As mentioned during previous Innovation Campus development approvals, there are public concerns that the overall development is not following the conceptual master plan that the City adopted in 2010. From the beginning, it was well known that the campus development would be evolving and modified due to the balance of many interests including habitat protection, natural landscape, historic preservation, DOT improvements, and economic development. The 2010 master plan was also an evolution of the 2004 Milwaukee County Grounds Master Plan and Design Guidelines by Kubala Washatko, which did not address habitat protection, DOT improvements, or the change to the site contours due to 10-30 feet of fill from the MMSD detention basins construction. The 2010 Council resolution and adopted plan are the guiding documents for this development, but due to the nature of planned developments, plans can be modified with appropriate approvals.

The Plan Commission reviewed this item on August 12<sup>th</sup> and recommended approval 5-0 with the following conditions:

The Plan Commission reviewed this item on August 12<sup>th</sup> and recommended approval 5-0 with the following conditions:

1. Plans showing adequate sewer capacity and storm water management subject to approval by the city engineer
2. Plans for water supply to site and hydrant placement subject to approval by the city water superintendent
3. Developer's agreement approved by the Common Council

4. Obtaining any additional licenses and permits
5. The landscape plan can be adapted by the Mayor's UWM workgroup as a collaborative consensus and adhere to at least a three-year natural landscape maintenance plan

Three letters in support of the proposal were received from Jim Villa, Commercial Association of Wisconsin Realtors, 735 N. Water Street, Milwaukee, Geoffrey Mykleby DDS, 2386 N. Menomonee River Parkway, and from Chris Leffler, 644 N. Honey Creek Parkway.

Phil Aiello, The Mandel Group, conducted a power point presentation which included aerial shots of the development site to orient the viewers to the location of the existing Eschweiler buildings and the proposed apartment buildings. The Administration building was identified, as it would be preserved under both Plans A and B. The location of the Dairy and Dormitory buildings was highlighted, as these buildings would be preserved under Plan A, but demolished and converted to walled gardens under Plan B. The Engineering building to the west of the Dormitory and Dairy buildings, would be demolished under Plan B. The power house (the northernmost building) will be demolished under both scenarios.

Mr. Aiello referenced the economic potential the development of the entire Innovation Campus offers, and the diverse mix of uses it will create. The Campus will be connected to the Regional Medical Center and is in close proximity to the Research Park. There is a need for housing in this area, and the proposed project can help fill part of that need.

Dave Gilbert, President of the UWM Real Estate Foundation, stated that this 'business park' is unique and very special because it will offer a live/learn/work/play component not seen in other developments. It will provide a very attractive option to individuals seeking such an environment.

Mr. Aiello reviewed the constraints the Eschweiler project presents. Development must take into account the property's historic designation, the adjacent Monarch butterfly habitat, the DOT's land requirements for the freeway reconstruction. Feasibility barriers include the high cost of building rehabilitation (estimated at \$8-11 million dollars in hard costs), the low revenue-producing square footage, the history of unsuccessful searches for redevelopment options for these buildings. A collective efficiency of 51% is estimated on the gross square footage of the buildings due to their original design and construction as a school.

During his presentation, Mr. Aiello reconstructed the timeline for this project from the Common Council's initial approval of the planned development in May 2010 to present. Various design iterations were considered, modified, or abandoned as building inefficiencies were identified and public input was provided. Financing options were explored as more definite rehabilitation costs were identified. The walled garden concept evolved to memorialize buildings that may have to be removed because of financial constraints. The Forestry Exploration Center's more recent interest in re-purposing part of the site provided another opportunity for additional collaboration and possible financing. Design modifications of the apartment buildings have been ongoing and have resulted in a less contemporary design than first envisioned that pays homage to significant architectural elements of the Eschweiler buildings without creating a copy-cat look or feel. Building heights were adjusted to mitigate shading issues on the butterfly habitat. The Historic Preservation Commission ultimately issued a Certificate of Appropriateness for the two plans before the Committee now. The Plan Commission likewise recommended approval of the PUD amendment in August 2013.

Mr. Aiello added that the TIF application process will reach the Budget and Finance Committee in September and October. Groundbreaking is targeted for 2014 for the apartments, with construction being finalized in 2015. The anticipated opening of the FEC school is September 2015.

Mr. Aiello summarized the two Plans for which approval is sought: Plan A will preserve all the buildings and will include the construction of 188 apartments. Plan B will be pursued if the FEC or another similar organization can't secure the necessary funding to preserve the Administration building. In that instance,

only the Administration building will be preserved; the Dairy and Dormitory buildings will be demolished and converted to walled gardens. The Engineering building will also be demolished. Under both scenarios, the power house will be razed as well. Implementing either plan assures that the development momentum on the Innovation Campus will continue.

Under Plan A, the 188 apartments will result in 219,000 square feet of new construction for apartments and 58,000 square feet utilizing the Eschweiler buildings. Under Plan B, 18,000 square feet accounts for the Administration building and 219,000 square feet is new apartment construction. Density will be about 25 units per acre under either scenario, which compares very favorably to density at Serafino Square (26 units/acre), The Enclave (35 units/acre) and The Reserve (25 units/acre).

Jim Shields, HGA, reviewed architectural elements of the proposal. The original buildings were constructed around a quadrangle that is now included in the historic designation. One-hundred year old trees live in this quadrangle that will be preserved during construction. The quadrangle itself abuts the Monarch butterfly habitat.

The Administration building will be the tallest building when compared to the new apartment construction. A design has been selected that is close in character to the Eschweiler buildings such that it repeats design elements (i.e., steep gables, brick masonry, limestone trim) consistent in scale and character with the original Eschweilers. Parking will be completely underground or on interior streets; there will be no surface lots.

Plan B preserves the Administration building, and demolishes the remainder. The foundations of the Dormitory and Dairy buildings, along with certain significant architectural features of each building (i.e., stairways, porticos, fireplaces, arches, etc.), will be preserved up to the limestone trimwork. English gardens will be created within the footprints of those buildings.

Joe Pepitone, GRAEF, highlighted features of the landscape plan, stressing that collaboration and connectivity are key components. Work has been done with Barb Agnew (butterfly habitat), James Reinartz, Director of the UWM Milwaukee Field Station, and Mike Marek of Marek Landscaping, to eliminate invasive plant species on the property and to replace those plants with a seed mix of plants attractive to Monarch butterflies. The butterfly habitat extends into the quadrangle mentioned previously. Existing trees there will be preserved. A lawn area will be provided within the quadrangle as a gathering space for FEC students. Pathways will be constructed within the quadrangle to provide access and to connect it to the residential units.

Immediately adjacent to the new apartments, typical lawn areas (20' wide) will be maintained to encourage residents to use those spaces. The lawn will transition to a plant mix attractive to butterflies as the land slopes towards a wetland area behind the apartments. The butterfly area will again transition to native plants nearest the wetland. The landscape plan will also incorporate the use of a variety of trees.

Charlie Mitchell, 7525 Oak Hill Avenue, Chair of the Historic Preservation Commission, spoke of the cooperative process the Commission has engaged in with the Mandel Group. A good plan resulted because of the input provided by many sources. Either Plan A or Plan B will be an asset to the area and he urged the Committee to recommend approval of the amendment.

Jim Haertel, 2022 N. 117th Street, Brew City Redevelopment Group, voiced support for the proposal as a historic preservationist. While his own company does not have the resources to propose what the Mandel Group is proposing, he applauds them for doing so. Mr. Haertel voiced support for both Plans A and B.

Betsy Caron, 1761 Church Street, a member of the Historic Preservation Commission, congratulated all participants in their efforts to make this a successful project. There was a willingness to explore various

options in an effort to save and reuse the Eschweiler buildings. The community was given a large voice in the discussion. The Mandel Group has been a pleasure to work with. She also voiced support for both plans, noting that Plan B has an attractive public aspect with the walled gardens. This proposal will expand the community in a way that is feasible and liveable. In another 100 years, another group may strive to preserve what is being created now.

Bill Otto, 7720 Mary Ellen Place, applauded the Mandel Group's efforts and sees that others appreciate the amount of work that has gone into this proposal to date. This project will be very good for the city and for the region. With this development, Wauwatosa will simultaneously become an incubator for jobs and for living in a unique way. The increase to the tax base will be welcome.

Plan Commission member Jody Lowe, 6274 Upper Parkway North, expressed her excitement with activity occurring on the Innovation Campus. The FEC's proposed school will be one of few project-based schools. She urged the Committee to support the proposal.

Brent Pitcher, 2576 N. 90th Street, an employee of GRAEF who works with Messrs. Pepitone and McCarthy at GRAEF, stated he was speaking as a resident who supports this development. He acknowledged the team that Mr. Aiello has assembled and expressed excitement to see the transformation this property will undergo.

Judy Randall, 317 N. 89th Street, agreed with Mr. Pitcher, stating she is very tired of looking at the Eschweiler buildings in their current rundown condition.

Pat Luebke, 6220 Upper Parkway North, agreed that she has watched the Eschweilers fall into disrepair for many years and supports both proposals and the proposed school.

Tom Gaertner, 6829 Terrace Court, a member of the FEC Board, commented that the FEC had originally thought about new construction on forest land. However, when the opportunity involving the Eschweiler buildings arose, it seemed very appropriate to focus their attention on reusing these former school buildings for education again. Locating a school in the middle of a scientific community is exciting. He voiced support for both Plans A and B.

Several Committee members voiced enthusiastic support for the proposal, and for the level of community involvement to date. This is a very complicated project with fragile components that is somewhat different from what was envisioned some years ago. There is more housing density, but economic conditions have demanded changes be made in order for it to be viable. The developer has spent considerable time and money to date to bring the project along this far. It is a privilege and a responsibility for the City to be responsible for Innovation Campus. The Campus's development will contribute to the financial stability of the City. The project is an opportunity to meld history and progress.

It was moved by Ald. Pantuso, seconded by Ald. McBride to recommend approval of the Planned Development Amendment at approximately 9722 Watertown Plank Road, including the five conditions mentioned previously. --

Barry Mandel noted that this has been one of the most rewarding developments he has ever worked on. Tremendous patience has been shown by the Historic Preservation Commission, the City's staff, and other stakeholders. As a result of the valuable input from these sources, the project has become better and better. This type of development is an opportunity that few other areas in the country have had.

Ald. Wilke applauded the work done on the restoration and landscape plan to date in terms of vegetation selection and trail layout. He asked whether it is possible to save a 12-inch oak tree west of the

southernmost existing building near a roadway. He asked that special care be taken during construction to preserve and protect this tree.

Mr. Aiello stated that they will investigate to see whether any type of modification can be made to the plan to create a bump-out area for the tree; he could not promise preservation, however.

With the consent of the Mover and Secunder, Ald. Wilke added another condition of approval that an existing habitat and tree construction protection plan be in place and that any trees located close to construction be properly pruned, maintained, and monitored. Vote on the motion (six conditions) -8.

The meeting adjourned at 10:25 p.m.

<b>RESULT:</b>	<b>RECOMMENDED FOR APPROVAL [UNANIMOUS] Next: 9/17/2013 7:30 PM</b>
<b>TO:</b>	Common Council
<b>MOVER:</b>	Bobby Pantuso, Alderman
<b>SECONDER:</b>	Dennis McBride, Alderman
<b>AYES:</b>	Moldenhauer, Causier, Roznowski, Walz-Chojnacki, McBride, Pantuso, Berdan, Wilke

---

Carla A. Ledesma, CMC, City Clerk

CITY OF WAUWATOSA  
MEMO



To: **Community Development Committee**

From: **Tamara Szudy**

Date: **August 20, 2013**

Subject: **Proposed 2013 zoning code housekeeping updates for introduction (set public hearing date)**

---

**A. Issue**

Introduction of an ordinance and setting a public hearing date for Zoning Code housekeeping updates.

**B. Discussion**

See the attached memo for additional information.

The item is scheduled to return to the Committee on November 12th for discussion.

As the Plan Commission reviewed this item on September 9th, staff will provide a report of the Plan Commission meeting.

**C. Recommendation**

Staff recommends setting a public hearing date of November 5, 2013.



CITY OF WAWATOSA  
**PLANNING DIVISION**  
 7725 WEST NORTH AVENUE, WAWATOSA, WISCONSIN 53213

PHONE (414) 479-8957  
 FACSIMILE (414) 479-8986  
 E-MAIL: [tplanning@wauwatosa.net](mailto:tplanning@wauwatosa.net)  
 WEB SITE: [www.wauwatosa.net](http://www.wauwatosa.net)

To: Members of the Plan Commission  
 From: Tammy Szudy, Principal Planner  
 Re: 2013 Zoning Code Housekeeping Updates  
 Date: August 30, 2013

During adoption of the new zoning code, staff mentioned that we anticipated making “housekeeping” amendments once we started using the code and encountered items that need clarification or are not exactly what was intended. This is the first round of updates since the code was adopted in March and there is likely to be at least one more update in the next few months. As this is a text amendment process, a public hearing before the Common Council is scheduled for November 5<sup>th</sup>. Please feel free to contact me if you have any questions about these revisions.

1. **24.02.030B Basic Standards, Lot and Building Regulations, Residential Districts:** Revise maximum coverage for accessory buildings footnote to reference the Building Code’s 720 s.f. maximum.  
 Proposed: [5] Square footage not to exceed maximum in Sec. 15.040.C3  
 Existing: [5] Not to exceed 720 square feet
2. **24.02.030B Basic Standards, Lot and Building Regulations, Commercial Districts:** Add footnote [5] to address existing, and future, conditions at Mayfair Mall, that will also be consistent with proposed overlay language (see #4 below).  
 Proposed: [5] Parcels associated with a regional mall are allowed 0’ interior side setback when not adjacent to R-zoned property  
 Existing: None
3. **24.03.040A Other Regulations, Drive-through and Drive-in Facilities:** Clarify that the use must be allowed regardless of a drive-through component and delete “in all C districts” as also allowed in M districts.  
 Proposed: Drive-through and drive-in facilities require conditional use approval and must be associated with an allowed use in the district. They are also subject to the regulations of Sec. 24.11.100.  
 Existing: Drive-through and drive-in facilities require conditional use approval in all C districts. They are also subject to the regulations of Sec. 24.11.100.
4. **24.05.020 /MAY, Mayfair Corridor Overlay:** Add another subsection specific to conditions at Mayfair Mall related to setbacks and restaurant uses.  
 Proposed: **C. Regional Mall Standards**
  1. **Minimum Interior Side Setback**

Parcels associated with a regional mall are allowed 0' interior side setback when not adjacent to R-zoned property

## 2. Eating & Drinking Establishments

No Conditional Use is required for establishments with no separate entrance or seating.

Existing: None

5. **24.05.030B Prohibited Uses, /NOR, North Ave Overlay:** Evolving from the proposed formula restaurant regulations, a work group was created to discuss the concerns and options to address them. In addition to developing design guidelines in the future, adding a prohibition on drive-throughs was recommended as one solution.

Proposed: 7. Drive-through and Drive-in Facilities

Existing: None

6. **24.06.040C Lot and Building Standards, SP-PUB, Public Facilities District:** Revise maximum height for principal and accessory buildings. Current limitations are too low for this district.

Proposed: Principal Buildings: unlimited; Accessory Buildings: 35'

Existing: Principal Buildings: 35'; Accessory Buildings: 20'

7. **24.07.030 Use Table:** Various revisions to allowed uses (P, C, -) or terminology.

- **Day Care** – make consistent with state regulations

Proposed: Up to 8 children or adults; More than 8 children or adults

Existing: Up to 6 children or adults; More than 6 children or adults

- **Schools** – allow in C0 District as Conditional Use (Fisher building)

Proposed: C

Existing: -

- **Animal Services - Veterinary** – allow in C0 District

Proposed: P

Existing: C

- **Eating & Drinking Establishments** – add a footnote in the chart and language to reference proposed standards added to /MAY Mayfair Overlay (see #4 above)

Proposed: Eating & Drinking Establishments [4]; Footnote: [4] See Sec. 24.05.020C2 – In a regional mall, no Conditional Use is required for establishments with no separate entrance or seating.

Existing: None

- **Retail Sales – Antiques, Resale Shops, Second-hand Merchandise** – allow in M1 and M2 District as Conditional Use (Restore, Goodwill)

Proposed: C

Existing: -

- **Vehicle Sales & Service – Light Vehicles and Equipment, Sales/Rentals** – wrong reference section

Proposed: 6.72

Existing: 6.78

- **Warehousing, Wholesaling & Freight Movement** - allow in M1 District as Conditional Use

- Proposed: C  
Existing: -
- **Wireless Communication Facilities -- Co-located** - revise [2] to reference new state law and delete existing language in footnote [3]  
Proposed: [2] See Sec.24.09.110 for additional regulations  
Existing: [2] Co-located antennas are permitted on city-owned and school district-owned property; [3] Freestanding antennas may be approved as a conditional use on city-owned property and school district-owned property
  - **Wireless Communication Facilities -- Freestanding** – Related to above, change all [3] to [2] in the chart  
Proposed: [2]  
Existing: [3]
  - **Drive-through or Drive-in Facilities** – Add language to footnote [3] and add [3] in the chart to cross reference the prohibition in /NOR overlay.  
Proposed: **Drive-through or Drive-in Facilities** [3]; Footnote: [3] See Sec. 24.05.030B7 – Drive-through or Drive-in facilities are prohibited in /NOR overlay  
Existing: None
8. **24.07.040M Lodging:** Clarify short-term rental of residential homes is not permitted unless approved as an approved bed & breakfast.  
Proposed: Provision of lodging services on a temporary basis with incidental food, drink and other sales and services intended for the convenience of guests. Not permitted on R-zoned property unless an approved bed & breakfast facility.  
Existing: Provision of lodging services on a temporary basis with incidental food, drink and other sales and services intended for the convenience of guests.
9. **24.07.040M1 Bed & Breakfast, Lodging:** Revise to make consistent with definition in State of Wisconsin administrative code.  
Proposed: A detached house that provides lodging consisting of 8 or fewer rooms for rent to no more than a total of 20 persons for more than 10 nights in a 12-month period, is the owner’s personal residence, is occupied by the owner at the time of rental, and in which the only meal served to guests is breakfast.  
Existing: A detached house in which the owner offers overnight accommodations and meal service to guests for compensation.
10. **24.07.040O. Office or Clinic, Medical:** 1. Add acupuncture to clarify it is allowed. 2. In order for the Health Department to retain their state exemption for permanent body art licensing and inspection, add that such uses are not allowed unless for medical purposes.  
Proposed: Personal health services including prevention, diagnosis and treatment, rehabilitation services provided by physicians, dentists, nurses and other health personnel and medical testing and analysis services. Typical uses include medical and dental offices, including chiropractic offices, acupuncture, physical and massage therapy offices, psychologist and psychiatrist offices, health maintenance organizations, blood banks, plasma centers and government-operated health centers. Excludes non-medical

permanent body art establishments and use types more specifically classified, such as hospitals.

Existing: Personal health services including prevention, diagnosis and treatment, rehabilitation services provided by physicians, dentists, nurses and other health personnel and medical testing and analysis services. Typical uses include medical and dental offices, including chiropractic offices, physical and massage therapy offices, psychologist and psychiatrist offices, health maintenance organizations, blood banks, plasma centers and government-operated health centers. Excludes use types more specifically classified, such as hospitals.

11. **24.08.040Q. Personal Improvement Service:** In order for the Health Department to retain their state exemption for permanent body art licensing and inspection, clarify that non-medical establishments are not allowed.

Proposed: Informational, instructional, personal improvement and similar services of a nonprofessional nature. Typical uses include hair salons, barber shops, beauty shops, nail salons, yoga or dance studios, personal training services, driving schools and martial arts studios but does not include non-medical permanent body art establishments. Health clubs are classified as “sports and recreation, participant.”

Existing: Informational, instructional, personal improvement and similar services of a nonprofessional nature. Typical uses include hair salons, barber shops, beauty shops, nail salons, yoga or dance studios, personal training services, driving schools and martial arts studios. Health clubs are classified as “sports and recreation, participant.”

12. **24.08.070B Drive-through or Drive-in Facilities:** Another place to cross reference the clarification discussed earlier in item #3.

Proposed: Any allowed use with drive-through lanes or service occupants of a motor vehicle.

Existing: Any use with drive-through lanes or service occupants of a motor vehicle.

13. **24.09.040B2a Facilities for Persons with Disabilities, Community Living Arrangements:** The distance is inconsistent with earlier regulations - it should be 1,500 instead of 1,000.

Proposed: When considering a conditional use permit application for a community living arrangement serving persons with disabilities and when the facility is pro-posed to be located more than 1,500 feet from another community living arrangement serving persons with disabilities, it must be presumed by the common council that the conditional use permit review criteria and standards of Sec. [24.16.040G](#) and Sec. [24.09.040B.1](#) have been met unless the record establishes the contrary by evidence that is clear, satisfactory and convincing.

Existing: When considering a conditional use permit application for a community living arrangement serving persons with disabilities and when the facility is pro-posed to be located more than 1,000 feet from another community living arrangement serving persons with disabilities, it must be presumed by the common council that the conditional use permit review criteria and standards of Sec. [24.16.040G](#) and Sec. [24.09.040B.1](#) have been met unless the record establishes the contrary by evidence that is clear, satisfactory and convincing.

14. **24.09.040B2b Facilities for Persons with Disabilities, Community Living Arrangements:** Same as #13 - the distance is inconsistent with earlier regulations.

Proposed: When considering a conditional use permit application for a community living arrangement serving persons with disabilities and when the facility is proposed to be located within 1,500 feet of another community living arrangement serving persons with disabilities, the common council must presume that the proposed conditional use will create an over-concentration of community living arrangements and institutional setting that is contrary to the purpose for which community residential programs were established and seriously strains the existing social structure and resources of the community. No conditional use permit may be approved in such case unless the applicant demonstrates by evidence that is clear, satisfactory and convincing that such an over-concentration will not result.

Existing: When considering a conditional use permit application for a community living arrangement serving persons with disabilities and when the facility is proposed to be located within 1,000 feet of another community living arrangement serving persons with disabilities, the common council must presume that the proposed conditional use will create an over-concentration of community living arrangements and institutional setting that is contrary to the purpose for which community residential programs were established and seriously strains the existing social structure and resources of the community. No conditional use permit may be approved in such case unless the applicant demonstrates by evidence that is clear, satisfactory and convincing that such an over-concentration will not result.

15. **24.09.110C Federal Law, Wireless Communication Facilities:** Revise heading to reference recently adopted state law regarding wireless facilities.

Proposed: C. State and Federal Laws

Existing: C. Federal Law

16. **24.09.110C Federal Law, Wireless Communication Facilities:** Revise text to reference recently adopted state regulations regarding wireless facilities.

Proposed: The wireless communication facility regulations of this section must be applied with the constraints of WI Statute 66.0404 Mobile Sighting Regulations and the Telecommunications Act of 1996 and Section 6409 of the Middle Class Tax Relief and Job Creation Act of 2012.

Existing: The wireless communication facility regulations of this section must be applied with the constraints of the Telecommunications Act of 1996 and Section 6409 of the Middle Class Tax Relief and Job Creation Act of 2012.

17. **24.16.030A Summary of Review and Decision-making Authority:** Revise table to make consistent with text in Section 24.16.110 Appeals of Administrative Decisions. These appeals are made to the Board of Zoning Appeals, not the Plan Commission, as the existing table indicates.

Proposed:

Procedure	ZA	DRB	HPC	BZA	PC	CC [1]
Appeals of Administrative Decisions	-	-	-	<DM>	-	-

Existing:

Procedure	ZA	DRB	HPC	BZA	PC	CC [1]
Appeals of Administrative Decisions	-	-	-	-	<DM>	-

18. 24.16.030C Notice of Hearing, Zoning Map Amendments (Rezoning): Revise text to add in 200' notice of Plan Commission meeting.

Proposed:

1. Notice of the plan commission’s required hearing must be mailed to all owners of property within 200 feet of the subject property at least 7 days before the hearing.
2. Class 2 notice of the common council’s required public hearing on a zoning map amendment must be published in accordance with chapter 985 of the Wisconsin Statutes.
3. Notice must be mailed to all of the following at least 7 days before the common council’s required public hearing:
  - a. the subject property owner;
  - b. all owners of property within 200 feet of the subject property; and
  - c. the clerk of any municipality with corporate limits that abut the subject property.

Existing:

1. Class 2 notice of the common council’s required public hearing on a zoning map amendment must be published in accordance with chapter 985 of the Wisconsin Statutes.
2. Notice must be mailed to all of the following at least 7 days before the common council’s required public hearing:
  - a. the subject property owner;
  - b. all owners of property within 200 feet of the subject property; and
  - c. the clerk of any municipality with corporate limits that abut the subject property.

Attachment: Zoning Code housekeeping (1613 : Zoning Code update)

CITY OF WAUWATOSA  
MEMO



To: **Community Development Committee**

From: **Tamara Szudy**

Date: **August 20, 2013**

Subject: **Request by Keith Schultz, SchultzWerk Architecture, and the Wauwatosa Woman's Club for a Change of Zoning from R1-6 District to C1 District at 7517 Milwaukee Avenue (set public hearing date)**

---

**A. Issue**

Introduction of an ordinance and setting a public hearing date for a Change of Zoning request.

**B. Discussion**

The Wauwatosa Woman's Club recently purchased the adjacent residential property on Milwaukee Avenue and are in the process of demolishing the structures with the intent of expanding their parking lot. This property is zoned residential (R1-6 District); to construct a parking lot, the zoning needs to be changed to C1 District, which is consistent with the zoning of the Woman's Club parcel.

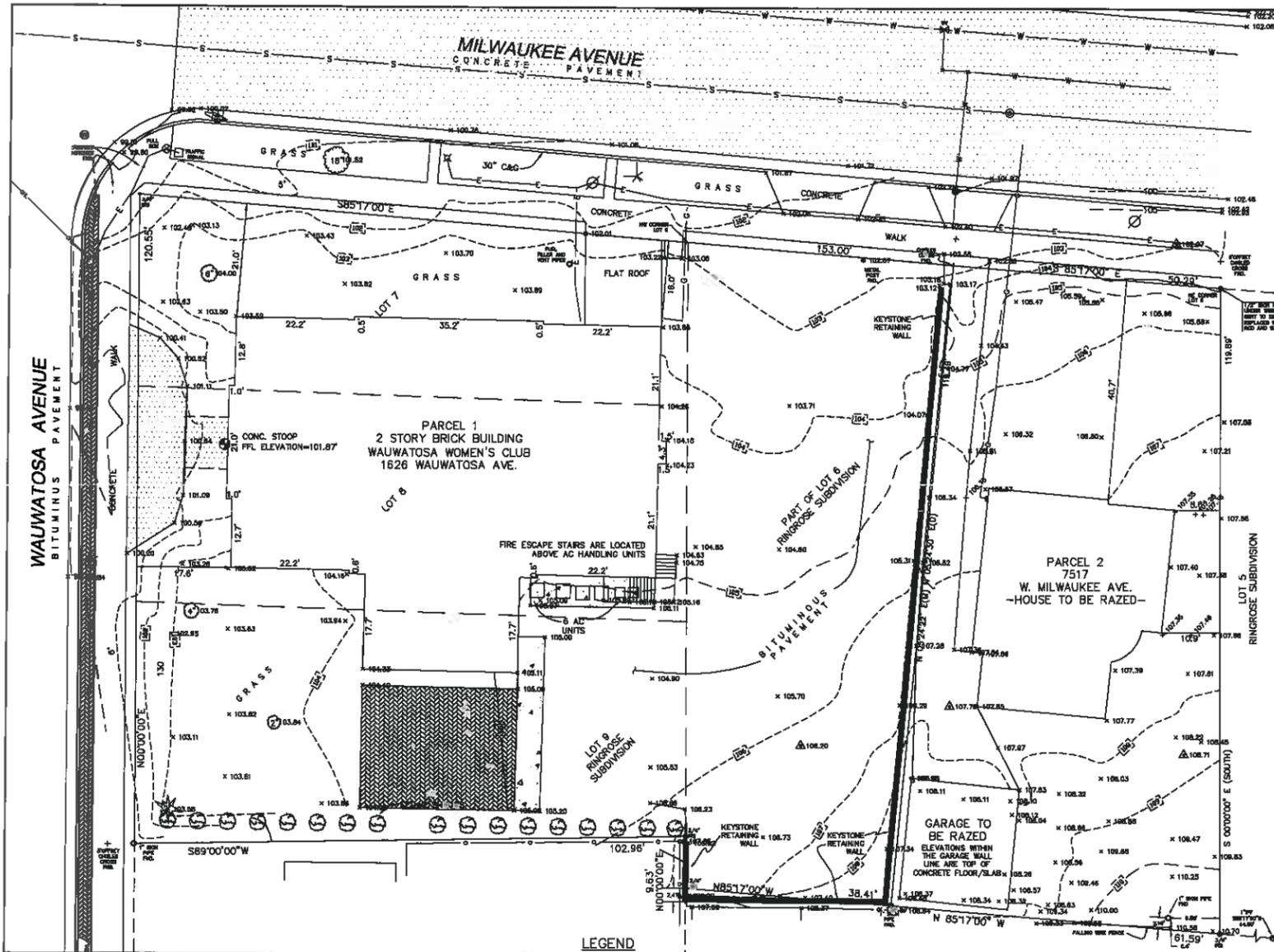
The item is scheduled to return to the Committee on November 12th for discussion - additional information will be provided for that meeting.

As the Plan Commission reviewed this item on September 9th, staff will provide a report of the Plan Commission meeting.

**C. Recommendation**

Staff recommends setting a public hearing date of November 5, 2013





**LEGEND**

—	BOUNDARY LINE	○	1" IRON PIPE (FIND)	●	CONCRETE POST
- - -	SECTION LINE	●	3/4"x16" IRON ROD (SET)	○	GAS VALVE
- - -	EASEMENT LINE	■	USPLSS MONUMENT	○	GUY WIRE
- - -	SILT FENCE	⊗	LIGHT	○	ELECTRIC PEDESTAL
FM	FORCE MAIN	⊗	FLOOD/AREA LIGHT	○	MANHOLE
SS	SANITARY SEWER	⊗	WATER VALVE	○	HYDRANT
ST	STORM SEWER	⊗	CATCH BASIN SQUARE	○	TELEPHONE POLE
W	WATER	⊗	CATCH BASIN ROUND	○	DECIDUOUS TREE
E	ELECTRIC	⊗	SIGN	○	CONIFEROUS TREE
T	TELEPHONE	⊗	POWER POLE	○	SHRUB
G	GAS	⊗	TRANSFORMER	○	CAUTION SIGN FOR COMBUSTIBLE UNDERGROUND GAS LINE
T	ATA/T	⊗	TRAFFIC LIGHT		
BES	BURIED ELECTRIC SERVICE (BES)	⊗	SIGNAL BOX		
		⊗	TELEPHONE PEDESTAL		

THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THEREOF.

**GENERAL NOTES**

- Bearings are referenced to West line of Lots 7, 8, 9 of Ringrose Subdivision which has a platted bearing of North 00°00'00" East (due North). Ringrose Subdivision is located in the Southwest 1/4 of Section 22, Township 7 North, Range 21 East in the City of Wauwatosa, Milwaukee County, Wisconsin.
- Project Benchmark: Storm manhole located at the SE corner of Milwaukee Avenue and Wauwatosa Avenue. Rim Elevation = 127.25
- Vertical Datum: City of Wauwatosa. Benchmark provided by Wauwatosa Engineering Department on February 21, 2007.
- Horizontal Datum: Local 5000 Coordinate System
- On the ground Boundary and Topographic Survey performed by Point Land Surveying & Mapping on July 28, 2013.
- This survey is a re-orientation of a previous survey prepared on July 31, 1981 by August Herke, R.L.S. An updated title commitment was not provided by the client for either Parcel 1 or Parcel 2.
- Underground Utilities are based on field location by Digger's Hotline on August 1, 2013 per Ticket Nos. 2013-31-00426 and 2013-31-00428.
- Sanitary sewer and water main locations are based on field location. Contractor/Owner shall verify sizes, elevations and locations.
- Underground utilities are shown for informational purposes only, and are not guaranteed to be accurate or all inclusive. The Contractor/Owner is responsible for making his own determination as to the type and location of underground utilities as may be necessary to avoid damage thereto. Contractor/Owner shall call Digger's Hotline prior to the start of any construction activities.
- The purpose of this survey is for the further expansion of the existing parking lot into the adjoining lot which was acquired by the Wauwatosa Women's Club on August 13, 2013.
- Elevations shown within the garage wall line are top of concrete floor/slab.

**DESCRIPTION OF PROPERTY SURVEYED**

**Parcel 1**  
The westerly 49.71 feet along Milwaukee Avenue and the westerly 35.41 feet along the south line of Lot 6, and all of Lots 7, 8 and 9 in Ringrose Subdivision, located in the Southwest 1/4 of Section 22, Township 7 North, Range 21 East of the Fourth Principle Meridian, in the City of Wauwatosa, Milwaukee County, Wisconsin.

Containing 17,144 square feet (0.3936 acres)

**Parcel 2**  
That part of Lot 6 in Ringrose Subdivision, a subdivision which is a part of Southwest 1/4 of Section 22, Township 7 North, Range 21 East in the City of Wauwatosa, Milwaukee County, Wisconsin which is bounded and described as follows:

Commencing at the Northwest corner of Lot 6, thence South 85° 17' 00" East along the north line of said Lot 6 (also being the south line of Milwaukee Avenue), a distance of 49.71 feet to the point of beginning;

Thence continuing along the north line of Lot 6, South 85° 17' 00" East, 50.29 feet to the northeast corner of said Lot 6; thence South (per plat) along the east line of Lot 6, 119.89 feet to the southeast corner of Lot 6; thence North 85° 17' 00" West along the south line of Lot 6, 81.58 feet; thence North 05°24'30" East, 118.49 feet (as described in Deed 3492, Page 284) to the point of beginning.

Containing 6,684 square feet (0.1534 acres)

**SURVEYORS CERTIFICATE**

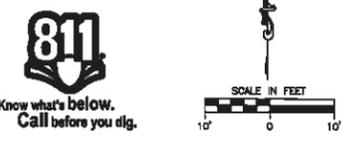
STATE OF WISCONSIN)  
WAUKESHA COUNTY ) SS

I certify that I have surveyed the above described property, and the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location and dimensions of all observed structures thereon, fences, apparent easements, roadways and visible lines of occupation if any.

This survey is made for the exclusive use of the present owners of the property, and is warranted to those who purchase, mortgage, or guarantee the title thereto from the date of issuance of this survey or the date of last revision.

This survey is copyrighted and reproduction without the written permission of the land surveyor is prohibited.

Executed this 14th day of August, 2013.



**Point Land Surveying & Mapping**

17174 18467 Jopper Road  
Monomonee Falls  
Wisconsin 53051  
262-250-8003 office  
pointlandsurveying@mlr.com email  
www.pointlandsurveying.com

Robert C. Bellrose, R.L.S.  
Registered Land Surveyor

**BOUNDARY-TOPOGRAPHIC SURVEY**  
1626 N. Wauwatosa Avenue  
Wauwatosa, Wisconsin  
Wauwatosa Women's Club

PROJECT NUMBER: 2013-08  
MAPPING SCALE: 1"=10'  
SURVEY BY: RCB  
DRAWN BY: RCB  
APPROVED BY: RCB  
DATE OF SURVEY: 7/28/2013  
PLOT DATE: 8/14/2013  
FIELD BOOK: 6  
PAGE: 5B  
CADD FILE: 13-08\tosa boundary  
REVISIONS:  
SHEET NUMBER: 1

WAWATOSA WOMAN'S CLUB  
NEW PARKING LOT  
1626 NORTH WAWATOSA AVENUE  
WAWATOSA, WI 53213

ARCHITECT:  
SchultzWerk  
Architecture, Inc.  
2515 NORTH 85TH STREET  
WAWATOSA, WI 53213  
414.778.1187  
swork@juno.com

ARCHITECT:  
KEITH SCHULTZ, AIA

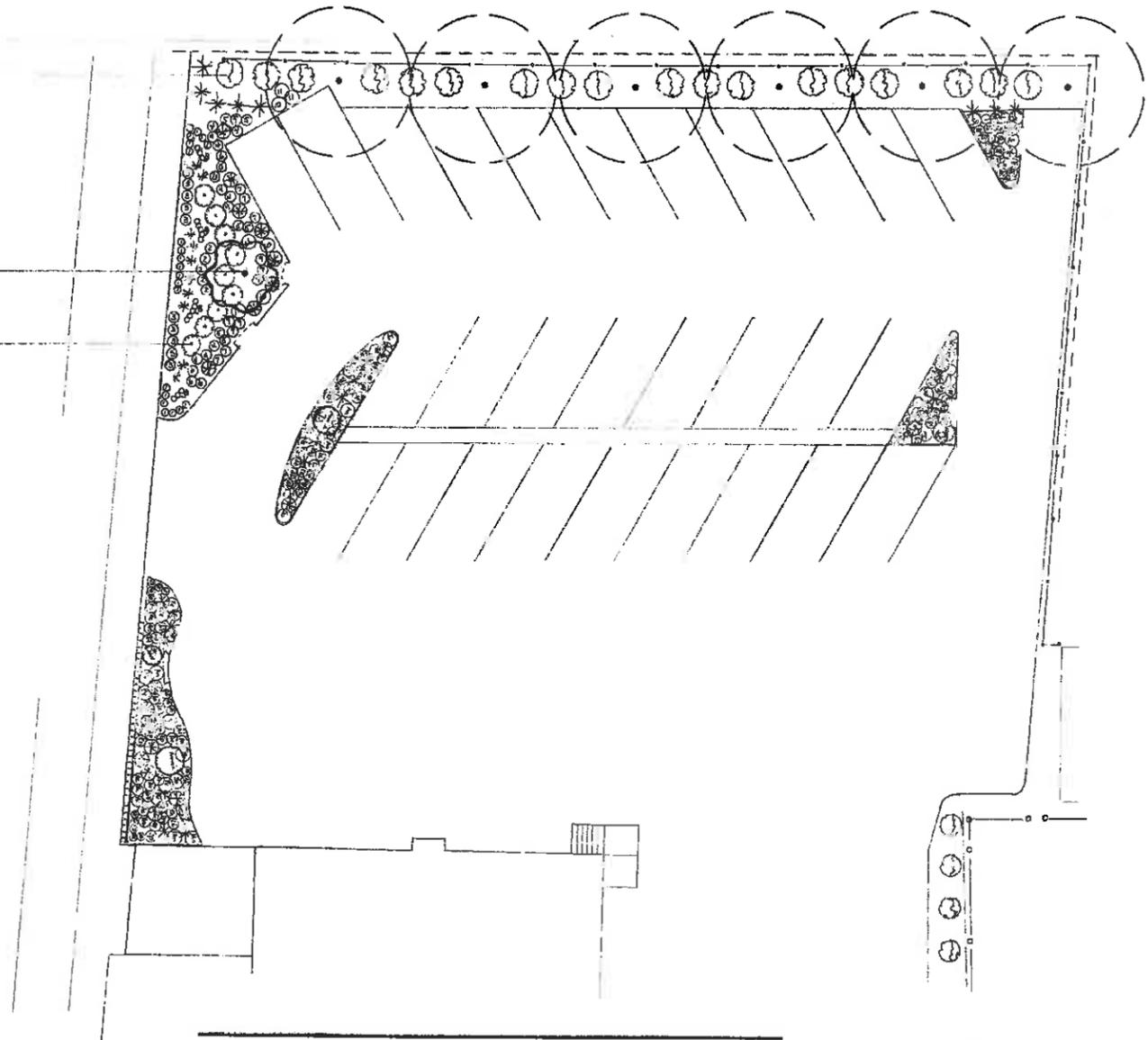


PROJECT NO. 13024.00  
DATE 08/16/13  
DRAWN BY KJS  
CHECKED BY KJS  
SHEET CONTENTS  
SITE SURVEY





CARPINUS CAROLINIANA-6  
TRISA OCCIDENTALIS-18  
 'DEERHOOT'S SPIRE'  
AMELANCHIER-1  
 'RESENT'  
OSANATHUS AMERICANUS-9



Plant Code	Plant Number	Subtype Name	Common Name
AL	6	Amelanchier	Blond Blue Hyacinth
AL	8	Amelanchier	Shadblow
AL	1	Amelanchier	American Crabapple
AL	7	Amelanchier	Redstart
AL	11	Amelanchier	Star
AL	12	Amelanchier	Yarrow
AL	13	Amelanchier	Yarrow
AL	14	Amelanchier	Yarrow
AL	15	Amelanchier	Yarrow
AL	16	Amelanchier	Yarrow
AL	17	Amelanchier	Yarrow
AL	18	Amelanchier	Yarrow
AL	19	Amelanchier	Yarrow
AL	20	Amelanchier	Yarrow

**Sue's Garden Design**  
 614-796-8109  
 E-mail: suegardendesign@yahoo.com

**Wauwatosa Women's Club**  
 1606 Wauwatosa Avenue  
 Wauwatosa, WI 53213

Date: August 2013      Scale: 1/8" = 1'-0"  
 Design By: Sue Dondos      Revision:

**Sue's Garden Design, LLC**  
 2609 N. 73rd St. Wauwatosa, WI 53213

**WAUWATOSA WOMAN'S CLUB**  
 NEW PARKING LOT  
 1826 NORTH WAUWATOSA AVENUE  
 WAUWATOSA, WI 53213

ARCHITECT:  
**SchultzWerk**  
 Architecture, Inc.  
 2515 NORTH 66TH STREET  
 WAUWATOSA, WI 53213  
 414.778.1187  
 sswerk@juno.com

ARCHITECT:  
 KEITH SCHULTZ, MA



REVISIONS

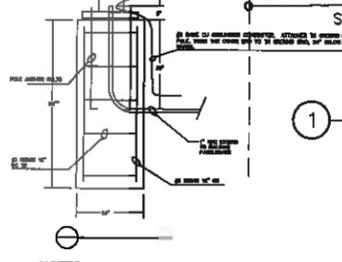
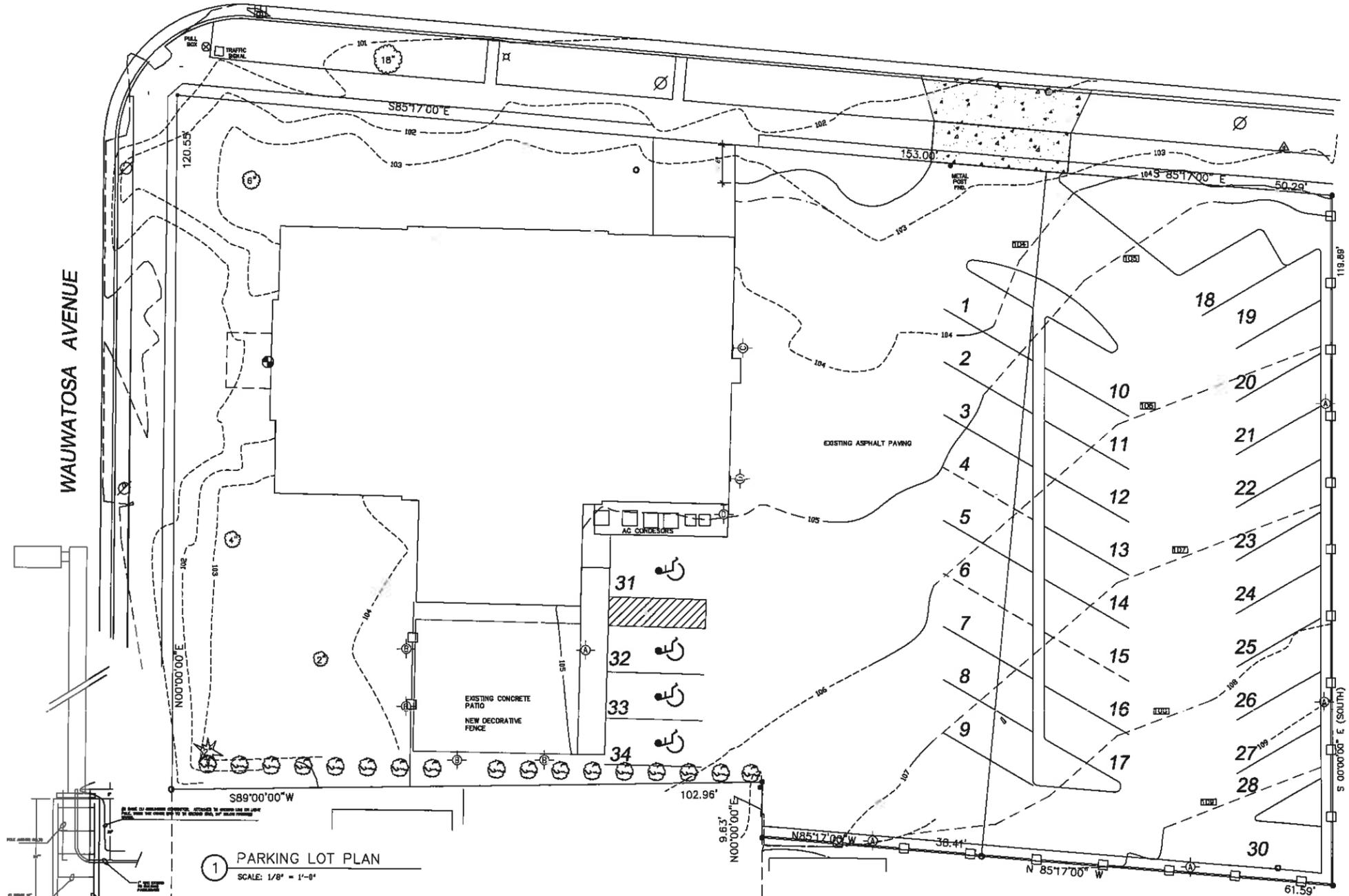
PROJECT NO. 13024.00  
 DATE 08/16/13  
 DRAWN BY KJS  
 CHECKED BY KJS

SHEET CONTENTS  
 LANDSCAPING PLAN

SHEET  
**LA1.1**  
 6 OF 7

Attachment: Woman's Club plans (1611 : 7517 Milwaukee Ave - Change of Zoning - Woman's Club)

- AND THE CITY OF MILWAUKEE ELECTRICAL CODES.
- REMOVE THE "D" FIXTURES FROM THE EXTERIOR WALL AND THE SURFACE RACEWAY BETWEEN THE TWO FIXTURES. PROVIDE A WEATHER RESISTANT COVER PLATE OVER THE BACK-BOX. CAULK AROUND THE OUTLET BOX. PAINT THE COVER PLATE AND CAULKING THE SAME COLOR AS THE EXISTING RACEWAY RACEWAY BEING REMOVED.
  - ALL NEW OUTDOOR FIXTURES SHALL BE CIRCUITED TO THAT CIRCUIT USED PREVIOUSLY FOR THE WALL PACKS. THE CIRCUIT TO THE NEW FIXTURES SHALL START AT THE EXISTING TIMER IN THAT EXTERIOR LIGHT CIRCUIT.
  - BECAUSE THE BOLLARD FIXTURES HAVE ONLY A 180° LIGHT DISTRIBUTION, THEY SHALL BE ORIENTED TO HAVE THE LIGHT DIRECT TO THE PAVING BLOCKS. SHALL START AT THE EXISTING TIMER IN THAT EXTERIOR LIGHT CIRCUIT.
  - TOP OF THE CONCRETE SHALL BE FLUSH WITH THE FINISHED GRADE.
  - UNDERGROND RACEWAYS SHALL BE 36" BELOW FINISHED GRADE. RACEWAYS SHALL PVC SCHEDULE 40 EXCEPT THAT ALL ELS SHALL BE RMC OR IMC.
  - ALL CONDUCTORS SHALL BE NO. 12 COPPER WITH THWN INSULATION. A NO. 12 COPPER GROUND CONDUCTOR WITH GREEN INSULATION SHALL ACCOMPANY ALL CIRCUIT CONDUCTORS.



1 PARKING LOT PLAN  
SCALE: 1/8" = 1'-0"

SYM	DESCRIPTION	LAMPS			DESIGNATION	BALLASTS			MANUFACTURE	CATALOG NUMBER	MOUNTING HEIGHT	NOTES		
		LED	QTY	WATTS		S	E	I					O	NO/FIX
A	POLE MTD. LED FIXTURE	-	X	-	70	-	X	-	1	120	GR800	CBSL-1372LAWHUMJBRP	14'	1
B	BOLLARD LED FIXTURE	-	X	-	40	FAU/300W/SP236	-	X	-	120	DAYRITE	3A6022F40-PAN-120-131UR	ON GRADE	
C	WALL MTD. LED FIXTURE	-	X	-	70	-	-	X	-	120	GR800	CBSL-1372LAWHUMJBRP	14'	
D	REMOVE WALL PACK	-	-	X	-	-	-	-	-	120	-	-	-	
1	POLE FOR FIXTURE "A"	-	-	-	-	-	-	-	-	-	VALMONT	1200-4040H401000-750	12'	

- SYMBOL SCHEDULE**
- ⓐ ○ LIGHTING FIXTURE POLE MOUNTED
  - ⓑ ⊕ LIGHTING FIXTURE GROUND MOUNTED
  - ⓒ ⊙ WALL MOUNTED FIXTURE (INSCRIBED LTR = FIX. TYPE)

WAUWATOSA WOMANS CLUB  
NEW PARKING LOT  
1626 NORTH WAUWATOSA AVENUE  
WAUWATOSA, WI 53213

ARCHITECT:  
SchultzWerk  
Architecture, Inc.  
2515 NORTH 68TH STREET  
WAUWATOSA, WI 53213  
414.778.1187  
swerk@juno.com

ARCHITECTS:  
KEITH SCHULTZ, AIA



REVISIONS

PROJECT NO. 13024.00  
DATE 08/16/13  
DRAWN BY HM  
CHECKED BY KJS

SHEET CONTENTS  
SITE LIGHTING PLAN

## DECORATIVE FENCE SPECIFICATIONS

Decorative fence to be installed on the south and east sides of the parking area

Fence to be no more than 6' in height

Fence to be set back 18" from easterly lot line and 4' from public right of way on east edge

Fence to be set on southerly lot line due to restrictions of neighboring garage

Fence to be constructed from cedar and to be unfinished so as to weather over time

Fence style shown below



## RETAINING WALLS

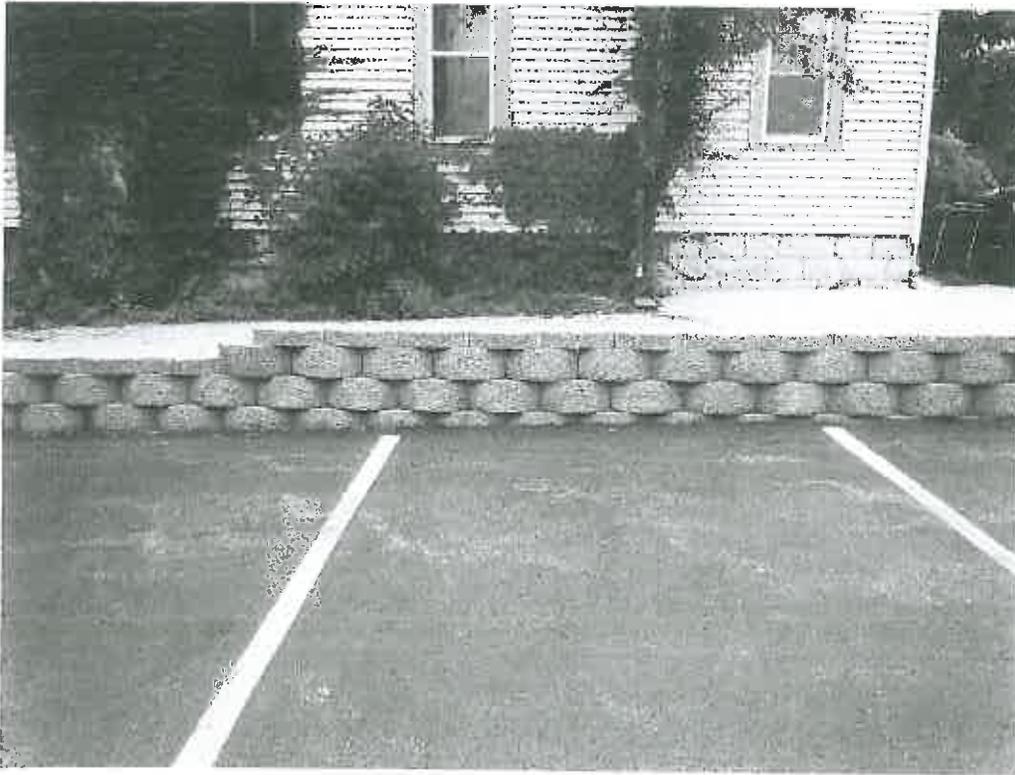
Retaining wall to be constructed on the south and east sides of the parking lot. Wall height to be determined after grade is measured.

Walls will be constructed of retaining wall block that is 18" w x 8" h x 11" d. Block currently on site will be used in new wall construction. Approximately 246 blocks are currently on the site.

Walls shall have cap blocks. Approximately 104 cap blocks currently on the site

Wall to be constructed per industry standards

Wall block style currently on site as below



## TREES and EVERGREENS



*Carpinus caroliniana*

Musclewood



*Thuja occidentalis*

Arborvitae 'DeGroot's Spire'

# SHRUBS



*Amelanchier alnifolia*

Regent Serviceberry



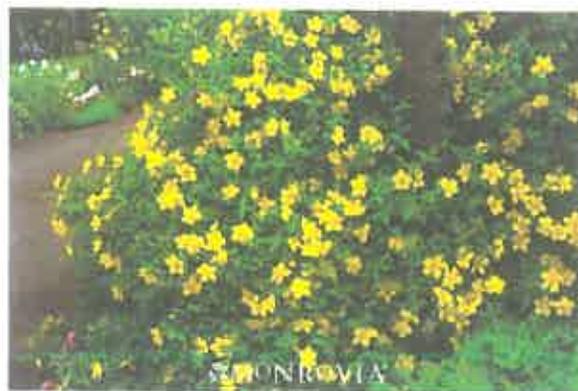
*Aronia melanocarpa*

Black Chokeberry



*Ceanothus Americana*

New Jersey Tea



*Hypericum kalmianum*

St. John's Wort

## PERENNIALS and GRASSES



*Agastache foeniculum*  
Blue Giant Hyssop



*Allium cernuum*  
Nodding Pink Onion



*Aquilegia canadensis*  
American Columbine



*Asclepias tuberosa*  
Butterfly Weed



*Aster novae-angliae*  
New England Aster



*Chelone glabra*  
Turtlehead



*Echinacea purpurea*  
Pale Purple Coneflower



*Geum triflorum*  
Prairie Smoke



*Heuchera micrantha*  
Coral Bells 'Palace Purple'



*Iris virginica shrevei*  
Virginia Flag Iris



*Lobelia cardinalis*  
Cardinal Flower



*Physostegia virginiana*  
Obedient Plant



*Rudbeckia hirta*  
Black-eyed Susan



*Solidago ohioensis*  
Ohio Goldenrod



*Carex pensylvanica*  
Pennsylvania Sedge



*Carex vulpinoidea*  
Fox Sedge



*Panicum virgatum*  
Switchgrass 'Ruby Ribbons'







## RAIN GARDENS

Rain gardens are to be excavated to a depth of 7" sloping from the parking lot grade toward center of garden area, details on construction to follow approval

All rain gardens within the parking area will have 5" curbs poured around them

All poured curbs will have 4' wide curb cuts for water access from surface to garden. Sample photo included.

Filtration systems may be requested to help filter out leaf and other debris from water before it enters the garden area (suggested system attached)

Easterly rain garden that abuts the public sidewalk shall have NO curb at sidewalk edge ONLY on the parking lot side. Garden will be level with sidewalk on its northern side

Westerly rain garden that abuts the public sidewalk shall have a retaining wall that begins at the raised area on the west side of the parking area extending approx. 30' along the sidewalk. Retaining wall shall be 26" high at west edge and step down in 4" increments with the first step down 8' from the beginning and then every 6' of length until it meets grade. Retaining wall to have cap blocks on top to finish. Retaining wall to be constructed of pre-formed retaining wall blocks with decorative face and shall be installed per industry standards.

Photo of blocks and caps shown below





Attachment: Woman's Club specs (1611 : 7517 Milwaukee Ave - Change of Zoning - Woman's Club)



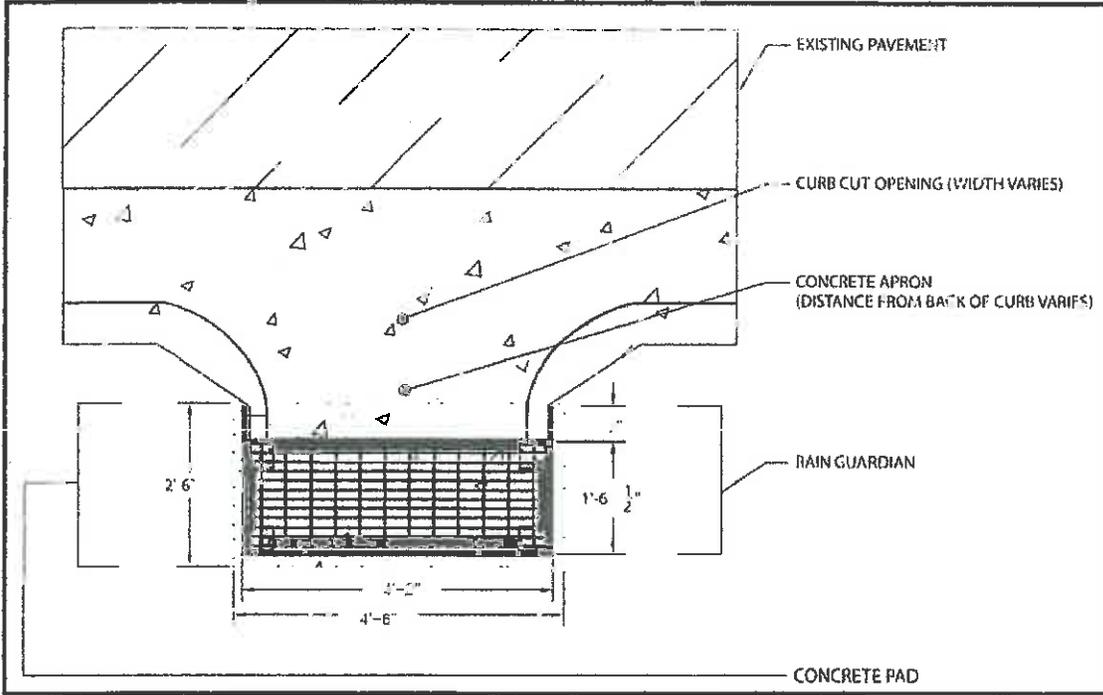
# BUNKER TYPICAL DETAIL

1318 MCKAY DR. NE, SUITE 300  
HAM LAKE, MN 55304  
(763) 434-2030 (M-F 8:00-4:30)  
WWW.ANOKASWCD.ORG



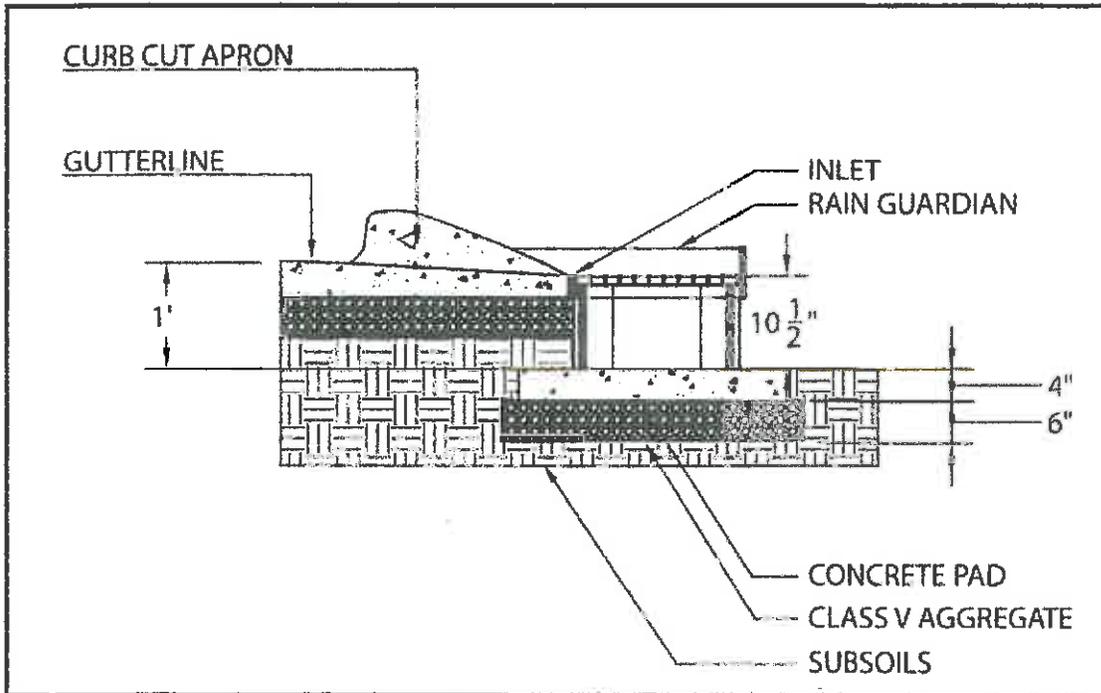
## PLAN VIEW

PATENT PENDING



## CROSS-SECTION VIEW

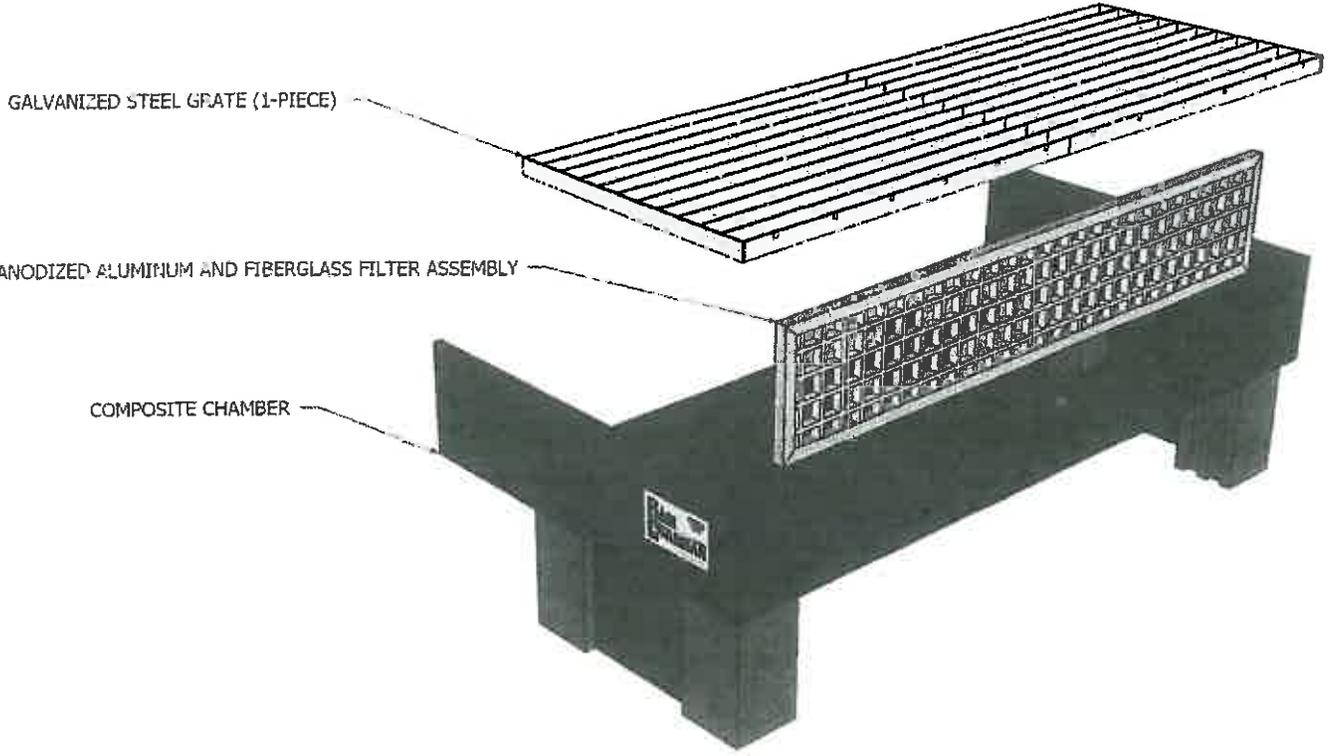
PATENT PENDING



SLAB DIMENSIONS, DISTANCE FROM CURB, AND CHAMBER ELEVATION MAY VARY WITH SITE CONDITIONS. THE TOP OF THE METAL GRATE, HOWEVER, SHOULD BE 1.5" - 2" BELOW THE OVERFLOW ELEVATION AND THE CONCRETE SLAB SHOULD EXTEND WELL BEYOND THE FILTER WALL TO SERVE AS A SPLASH DISSIPATER.

# COMPONENT VIEW

PATENT PENDING



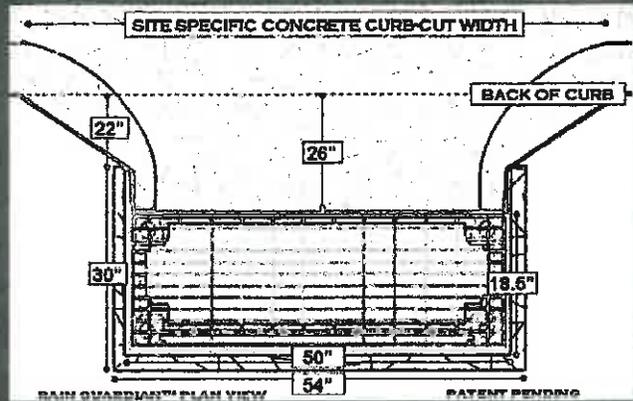
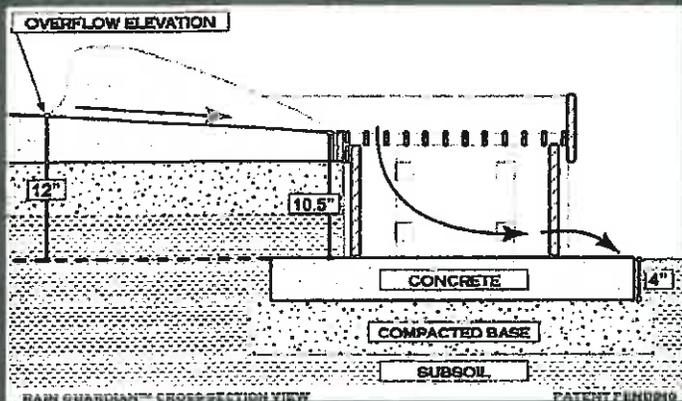
# RAIN GUARDIAN™ INSTALLATION



1318 MCKAY DR. NE, SUITE 300  
HAM LAKE, MN 55304  
(763) 434-2030 (M-F 8:00-4:30)  
WWW.ANOKACVCD.ORG



## OVERVIEW



SLAB DIMENSIONS, DISTANCE FROM CURB, AND CHAMBER ELEVATION VARIES WITH SITE CONDITIONS. THE TOP OF THE METAL GRATE, HOWEVER, SHOULD BE 1.5" - 2" BELOW THE GUTTER AND THE CONCRETE SLAB SHOULD EXTEND WELL BEYOND THE FILTER WALL TO SERVE AS A SPLASH DISSIPATER.

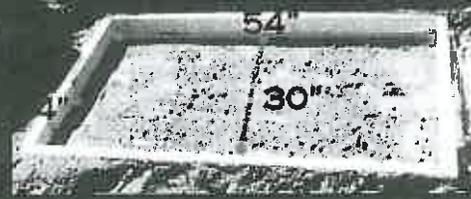
## CONCRETE BASE



EXCAVATE 16" BELOW THE DOWNSTREAM GUTTER ELEVATION (I.E. THE RAIN GARDEN OVERFLOW ELEVATION) TO ACCOMMODATE THE 4" CONCRETE BASE. THEREFORE, THE TOP OF THE CONCRETE BASE IS 12" BELOW THE RAIN GARDEN OVERFLOW ELEVATION.



THE CONCRETE BASE IS SET 22" FROM THE BACK OF THE EXISTING CURB AND CENTERED ON THE PROPOSED CURB-CUT. THE CONCRETE IS THEN POURED INTO A WOODEN FRAME WITH INTERIOR DIMENSIONS OF 54" L X 30" W X 4" H.



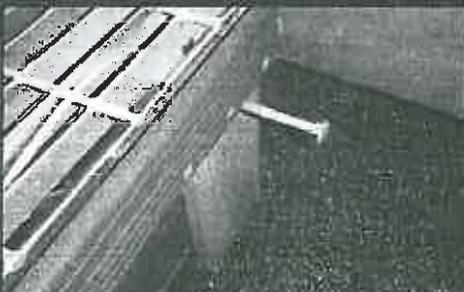
REBAR IS PLACED DIAGONALLY AFTER 2" OF CONCRETE HAVE BEEN POURED TO PROVIDE REINFORCEMENT OF THE CONCRETE BASE.

## RAIN GUARDIAN PLACEMENT AND SECURING



RAIN GUARDIAN PLACEMENT IS SET 26" FROM THE BACK OF THE EXISTING CURB. ENSURE THE CONCRETE BASE EXTENDS AT LEAST 4" BEYOND THE FILTER WALL TO SERVE AS A SPLASH DISSIPATER. APPLY ADHESIVE TO BASE OF RAIN GUARDIAN AND POSITION ON CONCRETE BASE. USE ADDITIONAL ADHESIVE AROUND BASE OF INTERIOR TO ESTABLISH WATER-TIGHT SEAL. USING PILOT HOLES IN CORNER POSTS, DRILL 3/16" HOLES INTO CONCRETE WITH 6 1/2" MASONRY BIT AND HAMMER DRILL. SECURE WITH 1/4" X 5" MASONRY SCREWS (PROVIDED).

## CURB-CUT AND APRON



WHEN POURING THE CONCRETE INLET, ENSURE THE CARRIAGE BOLTS ON THE RAIN GUARDIAN ARE SURROUNDED BY AT LEAST 2" OF CONCRETE ON ALL SIDES. THE TOP OF THE RAIN GUARDIAN GRATE WILL BE 10.5" ABOVE THE TOP OF THE CONCRETE BASE AND 1.5" BELOW THE RAIN GARDEN OVERFLOW ELEVATION TO ACCOMMODATE A SLOPED APRON FROM THE GUTTER TO THE RAIN GUARDIAN.



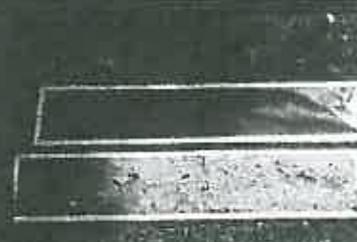
FILL VOID BETWEEN EXISTING CURB AND RAIN GUARDIAN. INSTALL FRAMING TO PREPARE FOR CURB-CUT AND APRON INSTALLATION. SIDES OF APRON SHOULD BE RAISED SIGNIFICANTLY TO BLEND INTO CURB AND MATCH TOP HEIGHT OF RAIN GUARDIAN SIDE DEBRIS WALL.



## MAINTENANCE

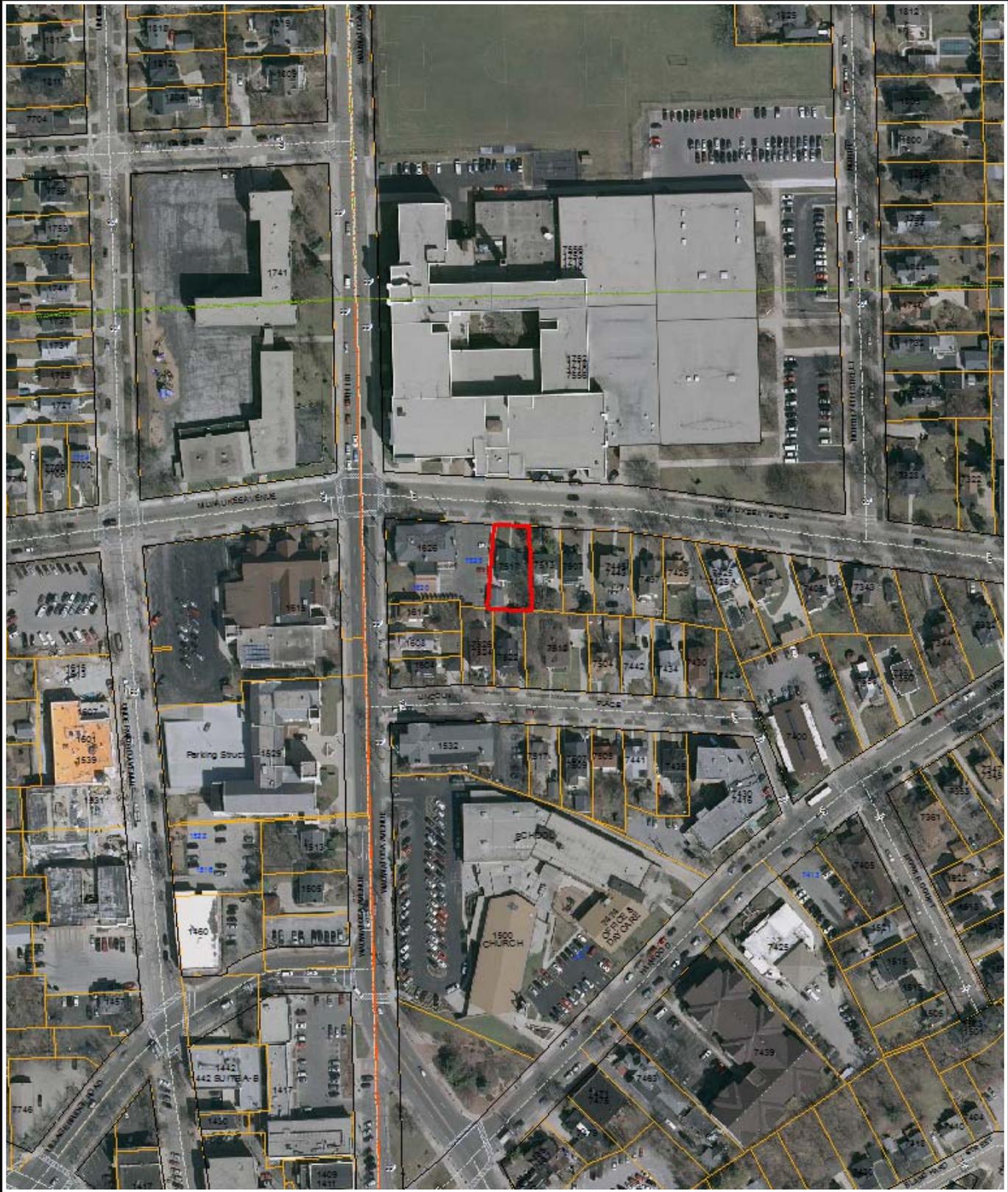


SEDIMENT, LEAVES, AND GRASS CLIPPINGS TRAPPED INSIDE THE CHAMBER ARE EASILY REMOVED BY THE LANDOWNER WITH A SHOVEL. THE DROP-IN FILTER WALL CAN BE EITHER SWEEPED CLEAN OR RINSED WITH A GARDEN HOSE TO MAINTAIN OPTIMAL FILTRATION CAPACITY.



# 7517 Milwaukee Avenue

2.2.



DISCLAIMER: This data is provided by the City of Wauwatosa for informational purposes only. The City does not warrant or guarantee the accuracy or reliability of this data. The recipient of this data assumes any risk of its use for any purpose.

Map Printed: 8/19/2013 12:30:27 PM



Scale: 1" = 200 Feet



Thursday, August 15<sup>th</sup>, 2013

Dear City of Wauwatosa Planning Commission Members –

The Wauwatosa Women's club recently purchased a house adjacent to their parking lot with the intent of increasing and improving their parking space. I am writing in support of the Wauwatosa Women's Club project to remove the house in order to increase the size of their parking lot, resulting in a newly designed parking area, with beautification and sound-reducing elements included in their plan.

It is my belief that this will improve parking in the general area, helping to keep more cars from parking on the street, thus improving visibility and safety for our school zones. Furthermore, the Wauwatosa Women's club has always been a good neighbor to St. Matthew's, sharing their current parking space with us when so needed. This has helped on Sunday mornings by allowing St. Matthew's worshippers to park there, alleviating more need for on-street parking. Having even more spots available would help more people worshipping at St. Matthew's and in our area to be able to park off-street in the club's lot.

Besides being our good neighbor, the Women's Club has always displayed exemplary citizenship in our fine community, helping to improve it any way that they can. I feel we need to support this project. It will help the Women's Club, it will help St. Matthew's and the surrounding area, and it will further help our beautiful city of Wauwatosa.

Thank you for your consideration and God's blessings to you on the important work of improving our city.

Sincerely, Pastor Chris Manke

Attachment: Support letter (1611 : 7517 Milwaukee Ave - Change of Zoning - Woman's Club)

**Pastoral Staff**  
Christopher Manke  
Margaret Schoewe

**Interim Minister**  
Fran Odden

**Music Staff**  
John R. Paradowski  
David Mohr  
Jeff Reeves  
Amy Dankwardt

**Youth and Sunday School Ministries**  
Gretchen Hauge

**Children's Ministries**  
Donna Gardner Manke

**Librarian (Volunteer)**  
Bev Etzelmueller

**Older Adult Ministries Coordinator**  
Jane Sandstrom

**Adult Education and Volunteer Ministries**  
Sue Swing

**Administrative Staff**  
Holly Jurs  
Sonja Mohr  
Jill Due

**Custodial Staff**  
John Swenson

**Pastor Emeritus**  
Gary Erickson

1615 Wauwatosa Avenue  
Wauwatosa, WI 53213-2676

**Ph:** (414)774-0441

**Fax:** (414)774-0989

**e-mail:** office@stmattslutheran.org

**www.stmattslutheran.org**

August 2, 2013

City Plan Commission  
 Wauwatosa City Hall  
 7725 W. North Ave  
 Wauwatosa, WI 53213

RE: Demolition of house at 7517 Milwaukee Ave and construction  
 of a parking lot

Dear :

We reside at 1614 Wauwatosa Avenue. We have lived there for more than 25 years. We write this letter to indicate our opposition to the demolition of the house at 7517 Milwaukee Ave and construction of a parking lot at that location.

We object because (1) the parking lot is not needed by the Wauwatosa Womans Club, (2) demolition of the house at 7517 Milwaukee Ave and construction of a parking lot will significantly alter our residential neighborhood and (3) expansion of the parking lot is designed primarily to market rentals of the Wauwatosa Womans Club building.

At an informational meeting at the Wauwatosa Womans Club on July 22, 2013, the president of the club indicated that the club places a self-imposed cap of 175 persons for any events at the Womans Club. The current parking lot at the Womans Club has 17 spaces. Historically, guests at Womans Club events have been able to park at the St. Matthew's Church lot, less than one block away from the Womans Club. The pastor at St. Matthew's attended the meeting on July 22 and indicated that guests at the Womans Club could use the St. Matthew's lot. The St. Matthew's parking lot contains 97 spaces. There is a municipal lot at Harmonee and Wauwatosa Avenue, one and a half blocks south of the Womans Club which contains 12 spaces. Historically, guests at Womans Club events have been able to use the Wauwatosa East parking lot, less than two blocks away from the Womans Club. This lot contains 165 parking spaces. Parking from these four lots contains 291 spaces. Presuming each car attending a function at the Womans Club has only 2 occupants, this parking accommodates more than 500 people. Of course, there is an additional and large municipal lot on Wauwatosa Avenue just South of Swan Interiors.

We have lived next to the Womans Club for 25 years. We recall no recent competing events at St. Matthew's and the Womans Club, occurring at the same time.

Attachment: Opposition letter (1611 : 7517 Milwaukee Ave - Change of Zoning - Woman's Club)

August 2, 2013  
Page 2

The Womans Club appears to have a small number of active members. We estimate no more than 20 attend the monthly meetings. Of course, this can be confirmed or refuted by the minutes of the meetings.

Expanding the parking lot for the Wauwatosa Womans Club by more than double its size will significantly alter our residential neighborhood. Right now, there are two small lights attached to the back of the building which illuminate the parking lot. With a larger parking lot, we were told on July 22 that there will be elevated illumination (two twelve foot high poles) which all of the immediate neighbors will see each time an event occurs. Of course, a certain amount of noise accompanies every rental of the Womans Club. If the parking lot is expanded by more than twice its current size, we expect the noise level and the amount of lingering after events to be magnified exponentially. Right now there is a house at 7517 Milwaukee Avenue. It is a modest house however it appears to be well maintained and the most recent resident, a resident of many decades, maintained a beautiful garden. All of the other buildings on this large city block are residences.

The expansion of the parking lot of the Wauwatosa Womans Club is primarily aimed to market rental of the building. At the meeting at July 22, the president of the Womans Club indicated that her goal was to have two weddings per month at the club. She and other directors lamented that the rentals at the Womans Club were too small. "We need to get bigger rentals because the costs of maintaining building is substantial" this was a refrain that we heard more than once at the meeting on July 22. If the parking lot is larger and the larger parking lot makes the Womans Club more attractive to rentals, and if the club is able to host more than two weddings per month, will the club reject business? The obvious conclusion is that the larger parking lot will more easily facilitate renting the building for larger events.

Another refrain that we heard at the meeting on July 22 was that the Womans Club is expanding the lot to relieve onstreet parking. We anticipate that the more likely consequence will be more frequent rentals for bigger events wherein street parking and the new, expanded parking lot will both be congested.

The Wauwatosa Womans Club is a non-profit. The club pays no real estate taxes. Profit-making is not a part of the clubs stated mission.

August 2, 2013  
Page 3

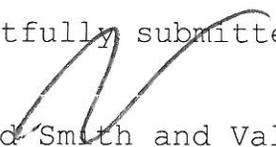
We have been good and tolerant neighbors of the Wauwatosa Womans Club for more than 25 years. We have seen a steady increase in the rentals of the building during that period. We have not complained. The Wauwatosa Womans Club purchased the property at 7517 Milwaukee Ave with the intent to build a parking lot without any consultation with us. At the meeting on July 22 several members of the Womans Club seemed distressed and defensive that we object to the expansion of the parking lot. We have a listed telephone number. Someone could have inquired about our point of view before the purchase of the property at 7517 Milwaukee Avenue.

A larger parking lot will encourage more and bigger rentals. In fact, that is the intent of the Womans Club. More and bigger rentals will increase the likelihood that our peace and quiet and the peace and quiet of our neighbors will be disturbed on a regular basis. The expansion of the parking lot will also have a concrete consequence diminishing the value of our homes.

The Wauwatosa Womans Club is not a commercial enterprise. There is no apparent evidence of financial struggle. We have observed many capital improvements over the last several years, a new roof, an elevator, a new patio, a repaved parking lot and increased landscaping, and we were told at the meeting on July 22, new windows. We do not see a desperate financial situation.

We harbor no bad feeling toward the Wauwatosa Womans Club or its members. We simply want to maintain the status quo. We oppose the demolition of the home at 7517 Milwaukee Avenue for purposes of expanding the Womans Club parking lot.

Respectfully submitted

  
Richard Smith and Valerie Ko  
1614 Wauwatosa Ave  
Wauwatosa, WI 53213  
rsmith125@wi.rr.com

Attachment: Opposition letter (1611 : 7517 Milwaukee Ave - Change of Zoning - Woman's Club)



## East High School

September 5, 2013

Dear City of Wauwatosa Planning Commission Members,

I am writing a letter of support for the plan being presented to the Planning Commission by the Wauwatosa Women's Club for the property adjacent to their current location. I understand that the plan describes the removal of the current house and the creation of an expanded parking lot. I have reviewed the plan found on the city website and am fully supportive of this rezoning request.

Off street parking in this part of Wauwatosa is at a premium. Expanding the available off street parking will improve the traffic flow and safety around the school and surrounding areas. East High School has been very fortunate to have a strong relationship with the Wauwatosa Women's Club and we have benefitted from being able to utilize the current parking lot for events and also reciprocate for their larger events. As an organization, they have been quick to share concerns about student behavior on their property and we have worked to monitor this area to maintain a strong relationship. They have been a great neighbor and always helpful with any request. I feel that we need to support this request because it will only enhance the relationship with the Women's Club and serve a need for additional parking that is felt by many in this part of Wauwatosa.

Thank you for considering and accepting this letter. I would have been at the commission meeting in person but I have to attend a school based meeting at the same time. Please feel free to contact me with any questions or concerns. I can be reached at 414-773-2010.

Sincerely,

Nick A. Hughes  
Principal  
Wauwatosa East High School

7500 Milwaukee Ave. Wauwatosa, WI 53222 414.773.2000 FAX: 414.773.2020  
www.wauwatosaschools.org

*The Wauwatosa School District does not discriminate on the basis of a person's color, sex, race, religion, national origin, ancestry, creed, pregnancy, marital status, sexual orientation, or physical, mental, emotional or learning disability.*

CITY OF WAUWATOSA  
MEMO



To: **Community Development Committee**

From: **Tamara Szudy**

Date: **August 20, 2013**

Subject: **Request by John Steiner and Milton Investments for a Conditional Use in the C1 District at 6818 West North Avenue for a restaurant**

---

**A. Issue**

Request by John Steiner and Milton Investments for a Conditional Use in the C1 District at 6818 West North Avenue for a restaurant

**B. Discussion**

The applicants want to open a seafood/sushi restaurant on North Avenue in the building adjacent to Rocket Baby. The proposed restaurant would seat 51 inside with outdoor seating for 12 at the front of the building. No encroachment is necessary as there is approximately five feet of private property located between the sidewalk and the building. The proposed hours of operation are 3 p.m. to bar time daily with outdoor dining hours of 4 p.m. to 11 p.m.

In addition to an extensive remodel, a 1,300 s.f. restaurant addition is proposed that roughly triples size of the building. The stand-alone residential structure at the rear of the property will be demolished and a new residential unit for employee housing will be attached to the restaurant, which is an improvement over the existing condition. The zoning code requires the addition of off-street parking for any enlargements or expansions - overall, four spaces are required for the restaurant and two spaces are necessary for the residential unit, for a total requirement of six spaces. By demolishing the existing house, three parking spaces off of the alley are provided as well as a location for the dumpsters. The Board of Public Works can approve an exception to this requirement. Bike parking is provided at the front of the building.

The proposed capacity of the building is approaching an occupancy classification that could require a fire suppression system, such as sprinklers. If Fire determines sprinklers are required, there might be issues with the water supply. The applicants have not yet contacted the Fire Department regarding fire suppression but will need to do so in order to obtain building permits.

As the Plan Commission reviewed this item on September 9th, staff will provide a report of the Plan Commission meeting.

**C. Recommendation**

Staff recommends approval with the following conditions:

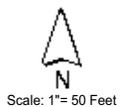
1. establishing hours of operation
2. the living unit is for employee housing only, not a rental for the general public
3. compliance with building and fire code regulations
4. apply to the Board of Public Works for an exception of three parking spaces
5. apply for parking lot permit from the Engineering Division

obtaining all other necessary licenses and permits



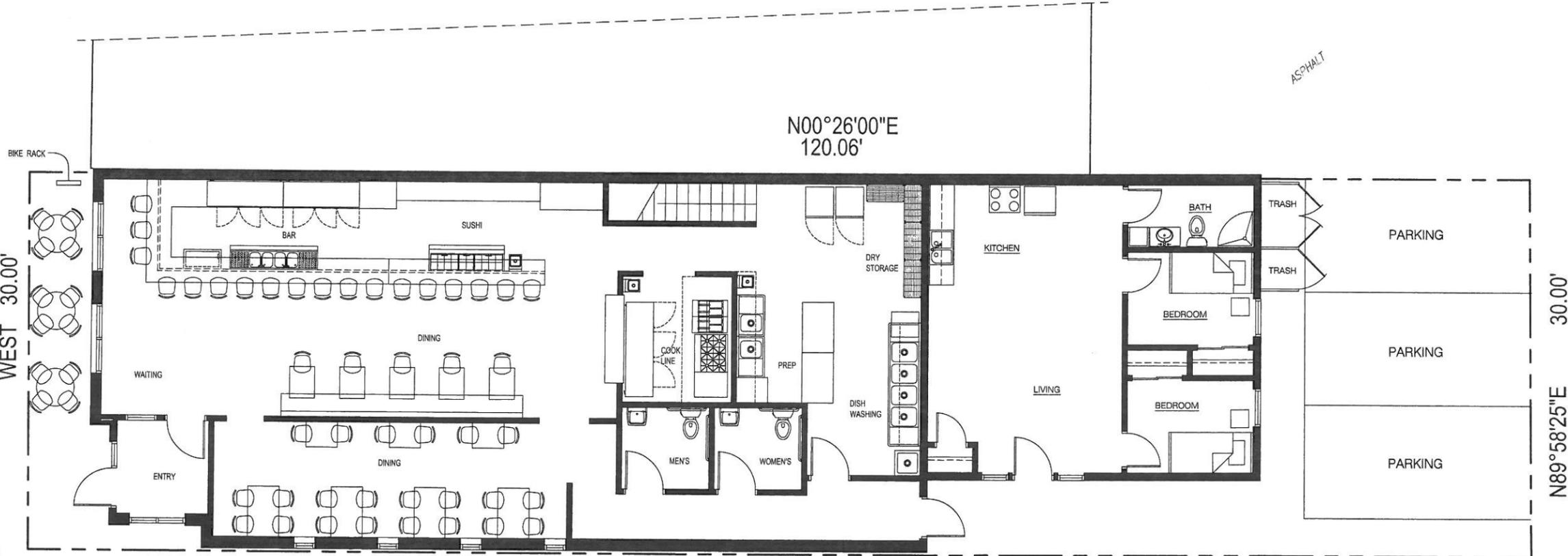
DISCLAIMER: This data is provided by the City of Wauwatosa for informational purposes only. The City does not warrant or guarantee the accuracy or reliability of this data. The recipient of this data assumes any risk of its use for any purpose.

Map Printed: 8/5/2013 3:33:45 PM



WEST NORTH AVENUE

WEST 30.00'



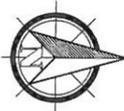
N00°26'00"E  
120.06'

S00°26'00"W  
120.08'

N89°58'25"E  
30.00'

12' WIDE PUBLIC ALLEY

ASPHALT



# PROPOSED SITE PLAN

SCALE = 1" = 10' - 0"

PROPOSED RESTURANT  
68th NORTH AVENUE  
WAUWATOSA, WISCONSIN

SHEET  
TITLE

HEET  
**A1**

Attachment: Fish Cheeks site plan (1610 : 6818 W. North Avenue - Fish Cheeks - CUP)

Fish Cheeks -- 6818 W. North Ave.

The existing property contains a commercial building on North Avenue and a residential home in the rear of the property. Currently the commercial building has a hair salon in operation and the home is a rental property.

We are planning on doing a complete remodel of the commercial building. We are planning on remodeling the existing exterior walls and constructing new walls in a new location to increase the size of the building. The existing building was 740 square feet and we will end up at 2,000 square feet with the addition. ~~The existing garage on the house will be reduced in size to allow for the addition. The garage will become storage for the home.~~ The remodeled building will have a new, updated façade to bring new life to the property and the neighborhood.

8/29/13  
demo  
existing  
residential  
structure

plus  
adding n  
living  
quarter  
at rear

The newly remodeled building will be used to create a new restaurant. The new restaurant will be a sushi/seafood concept. We will be serving top quality sushi and seafood with the goal to bring a fresh new concept to the area. The restaurant is designed smaller than the typical concept allowing us to serve top quality food with a high priority on quality which larger concepts have a hard time doing. We will be providing 30 seats for dining and 18 seats at the bar/sushi bar. We will be open 3pm to bar time, 7 days a week. Our intention is to provide a restaurant concept to the area where there is currently nothing like it. We feel the area is a wonderful area for us to be in.

Attachment: description (1610 : 6818 W. North Avenue - Fish Cheeks - CUP)

CITY OF WAUWATOSA  
MEMO



To: **Community Development Committee**

From: **Tamara Szudy**

Date: **August 15, 2013**

Subject: **Request by Anthony DeRosa, WP Property Acquisitions LLC, and David Israel, Learsi Wisconsin LLC, for a preliminary Planned Development at 1215 North 62nd Street for a multifamily development**

---

**A. Issue**

Request by Anthony DeRosa, WP Property Acquisitions LLC, and David Israel, Learsi Wisconsin LLC, for a preliminary Planned Development at 1215 North 62<sup>nd</sup> Street for a multifamily development

**B. Background/Options**

The applicants propose to construct a 169-unit multifamily development on the 10-acre former Western Metals property. Two four-story buildings (three levels of apartments and at grade enclosed parking) are located on the eastern and western sides of the site and four two-story buildings are located in the center of the development. The project was designed around the following factors: site contamination, the adjacent Grede foundry, and the historic Schoonmaker Reef. The main driveway is along the south, providing a buffer to the foundry and a direct connection to the adjacent retail development. The south property line is also heavily screened to buffer views of the foundry. A significant portion of the site is greenspace including a dog park for residents. Additional amenities include a pool and clubhouse.

In July, the Plan Commission first reviewed a proposed development consisting of 126-units in seven two-story buildings. The Plan Commission held this item and asked the developer to address density issues to provide a more urban design, reduce outdoor parking spaces and have more parking under the buildings, and to consider additional or better entrance and exits for vehicles.

The Plan Commission reviewed the current proposal on August 12<sup>th</sup> and recommended approval 5-0 with the following conditions:

1. plans showing adequate sewer capacity, environmental remediation and storm water management subject to approval by the city engineer
2. plans for water supply to the site subject to approval by the city water superintendent
3. building plans designating design and materials recommended by the Design Review Board;
4. granting a conservation easement and access easement for the Schoonmacher Reef per City specifications
5. developer's agreement approved by the Common Council
6. appropriate sensitivity to and maintenance of historic site from recommendations of the Historic Preservation Commission
7. be sensitive to exhaust issues brought up at Plan Commission
8. obtaining all necessary licenses and permits

After the Plan Commission meeting, Don Mikulic and Joanne Kluessendorf, the Reef experts,

submitted an email expressing concern with the location of the westernmost building as well as the location of the pathways and parking lot. This information was provided to the applicant and they are planning to meet with the geologists the next time they are in Wauwatosa.

Prior to the economic downturn, the City approved a planned unit development, and the related change of zoning, by a different applicant for a 224-unit multifamily development, consisting of 142 condominium units and 82 senior housing rental units.

**C. Recommendation**

Staff recommends approval with the conditions listed above

# 1215 North 62nd Street



Attachment: 1215 North 62nd Street - map (1608 : 1215 N. 62nd Street - BPD - Wangard)

DISCLAIMER: This data is provided by the City of Wauwatosa for informational purposes only. The City does not warrant or guarantee the accuracy or reliability of this data. The recipient of this data assumes any risk of its use for any purpose.

Map Printed: 6/24/2013 3:47:40 PM



# 1215 North 62<sup>nd</sup> Street Wauwatosa, Wisconsin

## Plan Commission Resubmittal

<b>GROSS SITE PLAN:</b>	<b>410,081 SF / 9.41 ACRE</b>	
PROPOSED BUILDING FOOTPRINT	83,581 SF	(20%)
PROPOSED GREEN SPACE	188,788 SF	(46%)

### MODIFICATION TO ORIGINAL PLAN:

- ❖ Project density has increased from 126 units to 169 units.
- ❖ Project parking ratio has been decreased from 2.2 to 1.8, as the amount of surface parking has been greatly reduced.
- ❖ Project includes 41 detached garage spaces.
- ❖ A Public Parking area has been added for public benefit to allow public access to the historical Schoonmaker Reef.
- ❖ Four (4) centrally located 18-unit buildings with attached garages.
- ❖ One (1) L-shaped building located in northwest corner of property
  - 39 units
  - Three (3) stories of housing above one (1) level of enclosed parking
  - 39 enclosed parking stalls
- ❖ One (1) L-shaped building located in northeast corner
  - 58 units
  - Three (3) stories of housing above one (1) level of enclosed parking
  - 59 enclosed parking stalls
- ❖ Enclosed the heart of the site by wrapping the taller structures around the outer edges of the site, creating a private neighborhood on the linear site.
- ❖ Created the four-story buildings to relate to the neighboring development and address the public realm of 62<sup>nd</sup> Street.
- ❖ With contemporary aesthetics on the site, the clean architectural design of the four-story structures transition in composition and material to unify the two-story walk-up structures into a cohesive site without redundant design.
- ❖ Located and oriented the buildings to have minimal impact from the neighboring industrial uses to the south.
- ❖ Adjusted garage and parking configuration to lessen the impact on the views of and overall impression of the site.

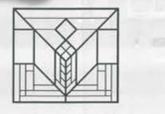
Attachment: Revised 1215 N. 62nd (1608 : 1215 N. 62nd Street - BPD - Wangard)

- ❖ Dog Park has been added to project plan in order to increase green space and to provide additional recreational amenities, while taking advantage of an underutilized and remote section of the site.
- ❖ The Clubhouse has been reoriented to provide a better focal point at the entrance to the community.
  - A Barbecue Station and Fire Pit have been included for additional resident amenities.
- ❖ Adjusted the site entry to create a vista view over the entire site with the Clubhouse anchoring the relationship between the two-story and four-story structures.
- ❖ Took full advantage of the northern site boundary by connecting building courtyards and park space to the natural landscape of the historical Schoonmaker Reef.
- ❖ Added to the intense landscaped separation to the existing industrial uses to the south.
- ❖ Architectural design includes a mixture of masonry and fiber cement blended in a clean composition with stucco accents, all anchored by an articulated stone base.



<b>GROSS SITE PLAN:</b>	<b>410,081 SF / 9.41 ACRE</b>
<b>PROPOSED BUILDING FOOTPRINT</b>	<b>83,581 SF (20%)</b>
<b>PROPOSED PAVING AREA</b>	<b>137,712 SF (34%)</b>
<b>PROPOSED GREEN SPACE</b>	<b>188,788 SF (46%)</b>

6228  
**Apartment at 1215**  
**PROPOSED SITE PLAN**  
 Wauwatosa, Wisconsin

  
 STEPHEN PERRY SMITH  
 ARCHITECTS, INC.  
 19 JULY 2013

  
 Architecture  
 1414 UNDERWOOD AVE.  
 WAUWATOSA, WI 53213  
 414.431.3131 TEL  
 414.431.0531 FAX  
 WWW.AGARCH.COM



EXTERIOR ELEVATION - WEST  
1/8" = 1'-0" 



EXTERIOR ELEVATION - EAST  
1/8" = 1'-0" 

*Apartments at 1215*  
**PROPOSED BUILDING ELEVATION (58 Unit Building)**  
*Wauwatosa, Wisconsin*

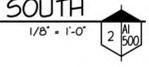
06 AUGUST 2013



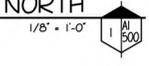
Attachment: Revised 1215 N. 62nd (1608 : 1215 N. 62nd Street - BPD - Waingard)



EXTERIOR ELEVATION - SOUTH



EXTERIOR ELEVATION - NORTH



*Apartments at 1215*  
**PROPOSED BUILDING ELEVATION (58 Unit Building)**  
*Wauwatosa, Wisconsin*

06 AUGUST 2013



Attachment: Revised 1215 N. 62nd (1609 : 1215 N. 62nd Street - BPD - Wanger)



EXTERIOR ELEVATION - NORTH

1/8" = 1'-0" 3 1/2 500



EXTERIOR ELEVATION - COURTYARD (EAST/WEST)

1/8" = 1'-0" 3 1/2 500



EXTERIOR ELEVATION - STREET (EAST/WEST)

1/8" = 1'-0" 2 1/2 500



EXTERIOR ELEVATION - SOUTH

1/8" = 1'-0" 1 1/2 500

*Apartments at 1215*  
**PROPOSED BUILDING ELEVATION (18 Unit Building)**  
*Wauwatosa, Wisconsin*

06 AUGUST 2013



Attachment: Revised 1215 N. 62nd (1608 : 1215 N. 62nd Street - BPD - Wargard)



EXTERIOR ELEVATION - WEST  
 1/8" = 1'-0" 



EXTERIOR ELEVATION - EAST  
 1/8" = 1'-0" 

*Apartments at 1215*  
**PROPOSED BUILDING ELEVATION (39 Unit Building)**  
*Wauwatosa, Wisconsin*

06 AUGUST 2013



Attachment: Revised 1215 N. 62nd (1609 : 1215 N. 62nd Street - BPD - Waingard)



EXTERIOR ELEVATION - SOUTH  
1/8" = 1'-0" 1/2" = 500'



EXTERIOR ELEVATION - NORTH  
1/8" = 1'-0" 1/2" = 500'

*Apartments at 1215*  
**PROPOSED BUILDING ELEVATION (39 Unit Building)**  
*Wauwatosa, Wisconsin*

06 AUGUST 2013



Attachment: Revised 1215 N. 62nd (1608 : 1215 N. 62nd Street - BPD - Wanguard)



Attachment: Revised 1215 N. 62nd (1608 : 1215 N. 62nd Street - BPD - Vanguard)



1215 N. 62nd Street

Attachment: Revised 1215 N. 62nd (1608 : 1215 N. 62nd Street - BPD - Wanguard)



**1215 N. 62nd Street**

Attachment: Revised 1215 N. 62nd (1608 : 1215 N. 62nd Street - BPD - Wangard)



1215 N. 62nd Street

Attachment: Revised 1215 N. 62nd (1608 : 1215 N. 62nd Street - BPD - Wangard)



1215 N. 62nd Street

Attachment: Revised 1215 N. 62nd (1608 : 1215 N. 62nd Street - BPD - Wanguard)



1215 N. 62nd Street

Attachment: Revised 1215 N. 62nd (1608 : 1215 N. 62nd Street - BPD - Vanguard)



1215 N. 62nd Street

Attachment: Revised 1215 N. 62nd (1608 : 1215 N. 62nd Street - BPD - Wanguard)



1215 N. 62nd Street

Attachment: Revised 1215 N. 62nd (1608 : 1215 N. 62nd Street - BPD - Wangard)



Attachment: Revised 1215 N. 62nd (1608 : 1215 N. 62nd Street - BPD - Wangard)

1215 N. 62nd Street

# Proposed 126-Unit Market Rate Luxury Multi-Family Development

Located at: 1215 North 62<sup>nd</sup> Street

Plan Commission Submittal  
Preliminary Planned Development  
Approval



City of Wauwatosa

June 14, 2013





June 14, 2013

Ms. Paulette Enders, Development Director  
City of Wauwatosa  
Purchasing Department  
7725 West North Avenue  
Wauwatosa, WI 53213

Dear Ms. Enders:

Please find enclosed our Plan Commission submittal to the City of Wauwatosa Planning Division, for Preliminary Planned Development for the property located at 1215 North 62<sup>nd</sup> Street. Our submittal has been prepared in partnership with Stephen Perry Smith Architects for the architectural design of the proposed project.

Wangard Partners is one of the leading developers in the greater Milwaukee area. We are recognized for our community development efforts, sustainability within our projects, and our commitment to providing a unique environment for our residents. We are an active firm that has continued to expand and develop during the recession, and continue to develop quality projects that withstand the test of time.

Together, our team has the specialized experience to design, construct and deliver a project that will not only meet the goals of the City of Wauwatosa for the proposed development, but also function well with the surrounding environment. With our firm based in Wauwatosa, we have extensive knowledge of the market. We were recently recognized by the Wauwatosa Chamber of Commerce for their 2013 Regional Impact Award. As a firm we take pride in our reputation for working well with the municipalities in which we work.

The enclosed submittal addresses the goals of our team for the proposed development, while addressing the needs and desires of the Wauwatosa community. The plan consists of a 126-unit market rate multi-family development including a state of the art club house. The significance of the adjacent Schoonmaker Reef has been incorporated into our design, and both preservation and access will be accounted for. Our proposed development provides a plan that is practical in today's real estate environment, includes the detail necessary for a successful development, and is one we can deliver.

Wangard Partners has an established track record with its lenders and the ability to obtain financing for the proposed project. Bank references are available upon request.

We look forward to the opportunity to further invest in this community that we are so closely tied to in so many ways. As with designing any project, it's not where you start but where you end up. As we further the design process, we will collect input from the various groups within the City. It is our intent to partner with the City on this project to meet the goals we have established, as well as the City's goals for the project.

Please contact me with any questions at (414) 935-4124 or via email at [wwiertzema@wangard.com](mailto:wwiertzema@wangard.com).

Sincerely,

Wayne A. Wiertzema  
President  
Wangard Partners, Inc.

1215 North 62<sup>nd</sup> Street

## Table of Contents

Project Overview	3
Neighborhood Location	6
Site Photographs	8
Vision	10
Traffic/DOT	15
Financing	15
Green Principles	16



Attachment: 1215 N. 62nd Street addl info (1608 : 1215 N. 62nd Street - BPD - Wangard)

1215 North 62<sup>nd</sup> Street

## Project Overview

Our vision for this 9.4 acre vacant brownfield property is a unique type of modern housing that does not currently exist within this area, but will complement and be catalytic for the neighborhood. The redevelopment of this property has been hampered historically, due to a variety of reasons ranging from the significant environmental contamination of the site, the previous downturn in the housing market to the fact that the property is located within an industrial block.

Demand for multi-family rental housing has been robust over the past several years. Based on specific market research for this development, this \$18.9 million proposed project has been designed to meet the demands of the community and to fulfill the City of Wauwatosa's long term plan for this site. The development will consist of 126 market rate luxury apartment homes, spread over 7 buildings of 18 units each. This project is unique in that all apartment homes will have their own direct entrance (similar to that of a townhome or condominium). Select units will also have attached, direct access garages. The buildings will be slab on grade, wood frame structures with the exterior of the buildings consisting of stone and cement board siding.

Our market study indicates a pent up demand for this type of housing in Wauwatosa. The target demographic that is the driving factor to this resurgence of demand for multi-family housing is the millennial generation (young professionals) along with empty nesters. This development will appeal to young professionals that are gravitating towards and want to be part of a walkable urban community with an extensive amenity package all in location. The young professionals are looking to be close to not only their work place, but also grocery stores, restaurants and other social activities.

It has become more important for cities to continue to not only attract, but also retain those currently living within the community. The community has a great asset in the Regional Medical Center (13,500 jobs) and this project will only further strengthen its role within the community by providing modern housing options that appeal to not only those that currently live in Wauwatosa but also those that work within the community on a daily basis.

Through the redevelopment of this property, an additional linkage will be created between the shopping center/retail amenities to the west and the other housing developments located just to the east along N. 62<sup>nd</sup> Street.



---

 1215 North 62<sup>nd</sup> Street
 

---

Each building features individual direct access to each unit around all four sides of the building, with the entrances grouped where possible and attached parking garages for eight vehicles per building. Covered parking for an additional 36 cars with detached garages is provided for a total of 92 garage spaces. With an additional 188 surface parking spaces, the project provides for an overall parking ratio of 2.2 spaces per unit. The buildings have been grouped in clusters with the eastern-most cluster of three buildings surrounding the central parking and clubhouse area. Directly south of the club house, across the main access drive is an additional parking area with detached garage parking for 16 cars. The western half of the site includes two additional clusters of two buildings each, which share surface parking and detached garages between them, along with common green spaces between each grouping of buildings. The placement of the garages has been spaced to allow for living units and entrances to visually break-up the façade and returned on the interior sides to minimize the amount of garage doors on the front elevation.

The two-story development concept has been selected for this site as a way to best soften the views of the industrial properties to the south. Two story buildings will limit direct views of these properties by limiting the height and ability to see further beyond the property line. The buildings have been designed to have the narrow ends oriented to the south, in order to lessen the view of the neighboring foundry. A road, along the southern property line, has been added as an additional buffer between the proposed residential buildings and the neighboring industrial properties. The southern perimeter of the property will also be heavily landscaped to provide an additional buffer.

Through the construction of this project, it is anticipated that approximately 100 construction jobs will be created. Additionally, the project will be creating additional permanent jobs as part of the overall management of this residential community.

Consistent with our other projects, this project will incorporate numerous sustainable practices and features. Details of our plans to incorporate these practices are outlined later in this submittal.

The site is currently zoned Planned Development, and currently has approvals in place for the development of a multi-family project up to 224 units completed in three phases, per the existing Development Agreement between the City of Wauwatosa and Lears & Co., Inc. dated May 3, 2007. The Western Industries building was located on the subject property until it was demolished in 2008 with plans to redevelop the property.



---

 1215 North 62<sup>nd</sup> Street
 

---

Wangard Partners is proposing a modified plan relative to what was previously approved in 2007. This modified plan of 126 units allows for a more feasible development given the significant environmental and other site constraints associated with this property. To maintain control over construction costs and make the project for more feasible, the project has been designed with buildings that are slab on grade, thereby limiting the amount of contaminated soil that needs to be excavated and disposed of offsite. This plan allows for more green space (53%), along with lessening the traffic impact for the surrounding area.

According to the City of Wauwatosa's Comprehensive Plan, a future land use pattern was adopted for the community. Our plan ties in well with the City's vision in accomplishing the following objectives:

1. Advance the strategic redevelopment of key parcels and areas in the City to help achieve the City's desired future land use pattern and character.
2. Prohibit incompatible land uses from locating within or adjacent to residential neighborhoods.
3. Actively encourage/promote infill development, redevelopment, and rehabilitation opportunities throughout the City.
4. Promote and encourage a greater variety of housing types throughout the City that will serve the needs of the future population.
5. Continue to provide all residents with access to public park lands and open space areas, and gathering places; ideally providing safe pedestrian access to these facilities.
6. Explore opportunities for areas of transition and shared use among City and regional institutions and the City's neighborhoods.
7. Support land uses and development projects that enhance the character of existing neighborhoods and complement surrounding land uses.
8. Continue to enforce quality design standards for buildings, landscaping, signage, exterior lighting, building materials, and parking lots.

In addition, the Comprehensive Plan goes on to describe that the State Street corridor offers unique opportunities to extend the character of the downtown and provide locations for housing, mixed use, and commercial projects that complement community amenities and the charm of surrounding neighborhoods. The scale of the project is intended to complement the surrounding neighborhood.



1215 North 62<sup>nd</sup> Street

## Neighborhood Location

Mixed Residential development accounts for roughly 5% of land in Wauwatosa. Major corridors such as North Avenue are lined with attractive, brick, multi-family residences, and housing developments are being constructed throughout the City, in the Village, along State Street, and in other appropriate locations throughout the community to meet the housing needs of smaller households.

The proposed project is located directly west of “The Enclave” development on N. 62<sup>nd</sup> Street, a block north of State Street. The site is bounded by N. 62<sup>nd</sup> Street to the east, the existing Grede Foundry, Eckert Door Company and Selzer-Ornst properties to the south, the Sentry anchored shopping center to the west and the historic Schoonmaker Reef bluff to the north. Access to the site is from the proposed main entrance at the southeast corner along N. 62<sup>nd</sup> Street to a proposed private 28 foot wide access road that runs along the southern property line. Pedestrian access is provided through the site from N. 62<sup>nd</sup> Street along a sidewalk walk that lies directly north and runs parallel to the new access road. In addition, pedestrian access is provided on sidewalks around each building and walking trails that run along the Schoonmaker Reef. As outlined in the Comprehensive Plan, this proposed project is in the heart of the State Street area which is a priority for the development of Wauwatosa.

The following page includes an illustration that identifies the location of the project in relationship to the neighborhood.



1215 North 62<sup>nd</sup> Street



Attachment: 1215 N. 62nd Street addl info (1608 : 1215 N. 62nd Street - BPD - Wangard)

1215 North 62<sup>nd</sup> Street

## Site Photographs

These photographs taken at the subject site display how underutilized this property is, and how it detracts from the surrounding developments. It has become an eye sore for the area and desperately needs to be revitalized.



View from Northeast Corner



View from Southeast Corner



View from The Enclave



View from The Reserve



1215 North 62<sup>nd</sup> Street



View of Foundry



View of the Reef



View from Walgreens



View of the Shopping Center



Graffiti on Retaining Wall



Eye Sores on Site (trash/old fence)



Attachment: 1215 N. 62nd Street addl info (1608 : 1215 N. 62nd Street - BPD - Wangard)

1215 North 62<sup>nd</sup> Street

## Vision

### Architectural Themes and Images

State Street serves as an important extension of the City's historic Village. Therefore, new projects along this corridor should complement the character of the Village and the surrounding neighborhoods. The scale of the project is intended to blend with the buildings in the surrounding neighborhood. High quality materials will also compliment the nature of the "Village Trade District". A significant investment will be made into the landscaping to create a buffer between the new development and the adjacent industrial properties.

The building siding materials suggest permanence and consist of a predominantly horizontal cement fiber siding and stone veneer punctuated with either paired patio doors or double hung windows with raised panel entrance doors and garage doors. The architectural grade shingle roofs are broken down in scale through the use of multiple gables. The building(s) mass is articulated with the expression of units and entrances in both a horizontal and vertical plane to reduce the visual mass. The entrances have been grouped where possible to minimize the amount of entrances and feature a porch-like condition. Each unit has its own patio or balcony with a trellis overhead to encourage residents to enjoy the outdoors while also providing a more resort-like feeling in an urban environment and adding character to the building.

According to the Wauwatosa Comprehensive Plan set forth in 2006, design standards were implemented for multi-family development. We intend to adapt our development to these standards and to work with the City to ensure the best plan is created:

1. Incorporate architectural design that fits the context and character of the surrounding neighborhood.
2. Encourage site layouts where buildings appear as a grouping of smaller residences, where appropriate.
3. Use brick/stone and other natural materials on building facades.
4. Avoid monotonous facades and box-like buildings by incorporating balconies, porches, varied building and facade setbacks, varied roof designs, and oversized windows.
5. Maintain a human scale by orienting buildings to the street with modest front yard setbacks (0 to 20 feet), bringing street-oriented entries close to public

10 | Page



---

 1215 North 62<sup>nd</sup> Street
 

---

- sidewalks to increase pedestrian activity, and including private sidewalk connections.
6. Feature prominent, well-lit entryways.
  7. For parking lots and garages: (a) locate garage doors and parking lots so they are not the dominant visual element; (b) screen parking areas from public view, while still following "Crime Prevention Through Environmental Design" (CPTED) principles; (c) break up large parking lots with landscaped islands and similar features; (d) provide direct links to building entrances by pedestrian walkways physically separated from vehicular movement areas; (e) large parking garages are undesirable, but where necessary, break up facades with foundation landscaping, varied facade setbacks, and recessed garage doors.
  8. Provide generous landscaping of sufficient size at time of planting. Emphasize landscaping (a) along all public and private street frontages; (b) along the perimeter of all paved areas and in islands in larger parking lots; (c) along all building foundations; (d) along yards separating land uses which differ in intensity, density, or character; (e) around all outdoor storage areas such as trash receptacles and recycling bins; (f) around all utility structures or mechanical structures visible from public streets or less intensive land uses.
  9. Provide on-site open space and/or outdoor common area to serve residents.

The image below is an illustration of the 18-unit buildings.



A state of the art club house has been included at the southeast end of the site. The clubhouse house will contain a leasing center, management office, fitness room, a community room for residents to gather as well as a potential future pool area. The



1215 North 62<sup>nd</sup> Street

club house serves as a gathering place for residents and provides the opportunity to develop friendships and further strengthen the community.

**Density/Unit Mix/Parking**

The project density includes 126 dwelling units. The density of this project is calculated as follows:

- Total land area: 9.43 Acres
- Residential Density: 13.36 units per acre
- Average Unit Square Footage: 896 SF

The proposed unit mix of this project is as follows:

Unit Type	% of Mix	# of Units	Avg Unit SF	Total RSF
Studio	11%	14	550	7,700
1 Bed 1 Bath A1-1 (w/ attached garage)	11%	14	720	10,080
1 Bed 1 Bath A2-2	11%	14	725	10,150
1 Bed 1 Bath A4-2	11%	14	742	10,388
1 Bed 1 Bath A1-2	11%	14	787	11,018
1 Bed 1 Bath Den, B2-2	11%	14	878	12,292
2 Bed 2 Bath B1-1 (w/ attached garage)	11%	14	1,134	15,876
2 Bed 2 Bath B1-2 (w/ attached garage)	11%	14	1,160	16,240
3 Bed 2 Bath C1-1 (w/ attached garage)	11%	14	1,369	19,166
<b>Totals/Averages</b>	<b>100%</b>	<b>126</b>	<b>896</b>	<b>112,910</b>

Section 24.11.020 of the City Ordinances states that for a Residential Multi-Unit Building, the minimum parking ratios are as follows: 1 space per dwelling unit for studios and one bedrooms, and 1.5 spaces per dwelling unit for two bedrooms. The project meets and exceeds the city requirements. The project includes 280 parking



Attachment: 1215 N. 62nd Street addl info (1608 : 1215 N. 62nd Street - BPD - Wangard)

---

 1215 North 62<sup>nd</sup> Street
 

---

spaces (56 attached garage spaces, 36 detached garage spaces and 188 surface spaces), which equates to approximately 2.22 parking stalls per unit.

### Signage, Lighting, and Landscaping

The proposed project monument sign located at the N. 62<sup>nd</sup> Street entrance corner will serve to identify the project and to complement the architectural elements from the buildings. The proposed conceptual site lighting would feature pole mounted single head and double head light fixtures to illuminate the drive and parking areas. Additional exterior mounted wall sconces will highlight the unit entrances and provide additional building ambient lighting.

The proposed conceptual landscape design is intended to serve both functional and aesthetic purposes. While the primary purpose of the perimeter landscaping is in the screening of the industrial properties to the south, the landscape design will also serve to complement the building architecture with foundation plantings, accent vehicular and pedestrian entrances with trees and shrubs, define the courtyard greenspace between the buildings and provide visual privacy of the patios.

### Relationship to Nearby Properties and Public Streets

There are many convenient amenities located closely to the proposed development, including retail, grocery stores, restaurants and convenience stores. These are amenities that will be in demand from our prospective residents. They want to be where the action is. The site will have direct access to the shopping center to the west. There will also be access to N. 62<sup>nd</sup> Street through the proposed private road within the development, which will run east and west along the southern portion of the property. In addition, a walking trail will be constructed along the north end of the property along the Schoonmaker Reef.

### Site Plan and Survey

A detailed site plan and survey for this project are enclosed.



1215 North 62<sup>nd</sup> Street

### Treatment of Natural Features

A major natural focal point of this site is the Schoonmaker Reef, located directly to the north of the property. The Reef has been designated as a National Historic Landmark, and holds much significance to the Wauwatosa community.

In 1862, American geologist James Hall discovered the unusual rock mound located at the Schoonmaker quarries, which led to the discovery that the mound was a remnant of a coral reef that grew on the ancient sea floor. The Schoonmaker Reef became the first fossil reef identified in North America and possibly in the world. It has also been determined to be 425 million years old and from the Silurian Period, when most of North America lay beneath a shallow, tropical sea. The Reef's significance is also found in its abundance of fossil preservation. More than 200 different fossil species have been identified, and specimens from the Reef can be found in many important natural history museums throughout the country.

Wangard Partners intends on entering into a Conservation Easement Agreement dedicating to the City an easement over a portion of the Schoonmaker Reef that extends on to the subject property. This easement will give the city access to the reef in order to ensure the reef's preservation as a historic geological formation. A Preservation Easement will also be executed with the City. Access will also be constructed for the public to be able to partake in the historical significance of this wondrous educational site. Pursuant to the existing Development Agreement for this property, TIF funds have been allocated for improvements to the reef which include public access to the reef, as well as fencing and lighting.

In addition to respecting the reef as part of the planning and development process, the site design also allows for plentiful green space representing 53% of the overall site.



The historical Schoonmaker Reef



1215 North 62<sup>nd</sup> Street

---

## Environmental Overview

---

The subject property has significant environmental contamination related to former uses.

- The property is listed as a site for fuel oil and solvent related releases.
- Environmental reports indicate the presence of a 15,000 UST (underground storage tank), a 2,000 UST and two other fuel oil tanks associated with the property.
- Investigative activities to date have identified portions of the property where greater concentrations of chlorinated-related soil and groundwater impacts are located.
- The property contains fill material consisting of sand, gravel and foundry sand is present with elevated arsenic concentrations within the soil. The foundry sand at the property appears to have negatively impact the site

We have teamed up with The Sigma Group to lead us through the cleanup of this brownfield site. We are working with Sigma to further evaluate and quantify the extent of the onsite contamination.

---

## Traffic/DOT

---

Traffic calming features will be added along the private road running east/west through the development, including a potential narrowing of the street at specific locations. Any potential traffic impacts should be minimal based on the reduced density of this plan relative to what was previously approved in 2007. As part of the Development Agreement from 2007, a previous traffic study had been conducted which indicated that there would be no adverse impact upon the overall traffic in the area based on a total of 224 proposed units.

15 | Page



1215 North 62<sup>nd</sup> Street

## Financing

Wangard Partners anticipates financing the development through a conventional bank construction loan. One of Wangard Partners' greatest areas of expertise is our ability to obtain the most competitive financing in the marketplace. We have been able to obtain financing that has surprised experts in the field. This type of financing is not available to all developers. The lenders look at the developer's track record, ability to manage risk, and the strength of the individual projects. Our firm has developed excellent relationships with both local banks and national institutional lenders. Bank references are available upon request.

The existing Development Agreement between City of Wauwatosa and Lears & Co., Inc. allocated \$1,900,000 for the subject property related to demolition, environmental remediation and improvements associated with the Schoonmaker Reef. A portion of these funds have previously been utilized for the demolition of the former Western Industries building. A TIF Application has also been submitted for this proposed development for a developer funded TIF request in the amount of \$2,530,000.

One of the other significant community benefits related to this opportunity is the potential increase in tax base and revenue for the City of Wauwatosa. Fully developed, we are anticipating an increment in assessed value of approximately \$14,400,000. Estimated incremental tax revenue over a ten year period is projected in excess of \$3,200,000.



1215 North 62<sup>nd</sup> Street

## Green Principles

To protect and enhance the environment, Wangard Partners will be utilizing various construction techniques and materials for this project to incorporate a variety of green principles that enhance the environment around it. Below is a sampling of the green features that have been incorporated into the project.

- **Site Design**

The Schoonmaker Reef on the northern edge of the property is a valuable resource for the area. Therefore great care has been taken to design a site that has no impact to the reef's survival. In fact, the site engineering will incorporate a 'No Grading' buffer, thus reducing the potential for any negative impact on the reef.

- **Green Apartment Living**

- Management of the community will utilize onsite efforts to create a green living space and implement environmentally friendly practices into the residents' daily lives.
- We will create an onsite recycling program, complete with offices and common areas being equipped with recycling receptacles and recycled paper. All collateral material will be printed on recycled paper.
- In order to reduce energy consumption, common areas within the clubhouse will use motion censored lighting, along with compact fluorescent light bulbs (CFLs) being installed in model apartments and interior common areas of the clubhouse.
- Energy efficient high performance windows will be installed in all buildings to reduce the need for excessive heat and air conditioning.
- We will implement online options for payment of rent and any maintenance requests as to lessen the use of paper.
- Low flow faucets and water-wise landscaping will be used to decrease water consumption.
- Maintenance staff will use environmentally friendly cleaning products, low VOC paints, and non-toxic pest control in order to reduce pollutants.
- To promote better transit opportunities, bicycle storage will be provided for the residents and the location of the project is in close proximity to public transit, shops, services and recreation.

17 | Page



---

 1215 North 62<sup>nd</sup> Street
 

---

- **Building and Roadway Layout**

The buildings and roadway designs have been clustered to preserve and enhance open space and promote easy accessibility within this neighborhood, without congesting the current traffic pattern.

- **Walkable Neighborhood**

Wauwatosa's existing neighborhoods afford many opportunities for residents to walk and bike to key destinations and community gathering places. Ensuring a safe walkable and bike-able environment will help preserve the community's small-city character, enhance the safety of the neighborhoods, and improve the health of people and the natural environment.

This neighborhood is located adjacent to a shopping/retail area and directly next to the historical Schoonmaker Reef, thus encouraging a walkable and healthy lifestyle rather than forcing people into their cars. In addition, commercial, residential uses, and parks and recreation zoning are adjacent to this project providing the potential for future employment and recreational use to be located within walking distance of this neighborhood. The full benefit of this walkable neighborhood will be experienced as adjacent parcels develop; creating routes and passage ways for this entire area.

- **Site Conservation**

During the site construction, a variety of erosion control and conservation practices are utilized. Erosion protection for the site will be installed prior to the start of work. In addition, a single stabilized construction entrance will be provided to limit debris from leaving the construction site.

- **Building Construction**

During the building construction, certain waste material will be recycled to reduce the total amount going to landfills.

- **Building Envelope**

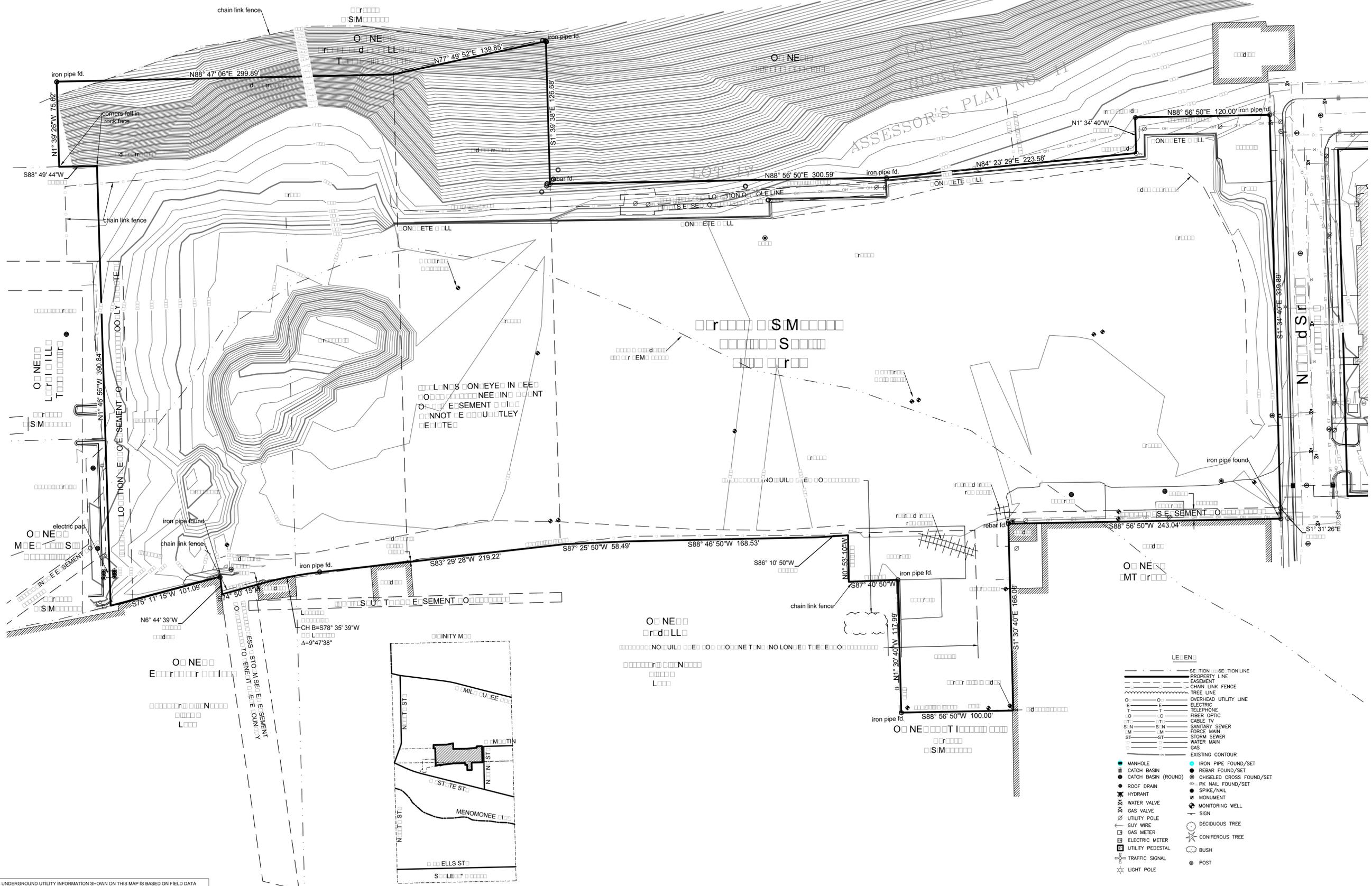
The exterior building envelope will incorporate fiber-cement composite siding that is primed and painted prior to installation. Wall construction will consist of energy efficient panelized construction to increase operational performance of the building systems.



# LT SM LN TITLE SURVEY

## HIGHLAND PARK NO. 6

**SIGMA GROUP**  
 Single Source. Sound Solutions.  
 www.thesigmagroup.com  
 1300 West Canal Street  
 Milwaukee, WI 53233  
 Phone: 414-643-4200  
 Fax: 414-643-4210



1215 NORTH 62ND STREET  
 WAUWATOSA, WISCONSIN

- 1) REVISED PER ATTORNEY COMMENTS AND UPDATED TITLE COMMITMENT, B.M.R. 1-03-13
- 2) ADDED FLOODPLAIN LABEL, SHOWED COMPLETE EXC. #18, B.M.R. 1-14-13

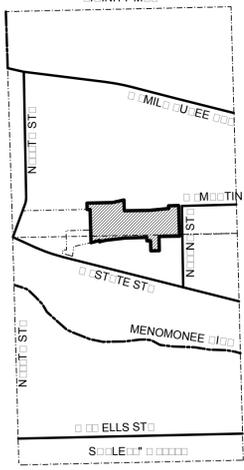
NO.	REVISION	DATE	BY



DRAWING NO. 13609-V-010-D.dwg  
 DRAWN BY: B.M.R.  
 DATE: 12-19-12  
 PROJECT NO: 13609  
 CHECKED BY: KAS  
 APPROVED BY:  
 SHEET NO.:

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD DATA OBTAINED DURING THIS SURVEY. INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY, AND AS-BUILT INFORMATION. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.

- LEGEND**
- SECTION LINE
  - PROPERTY LINE
  - EASEMENT
  - CHAIN LINK FENCE
  - TREE LINE
  - OVERHEAD UTILITY LINE
  - ELECTRIC
  - TELEPHONE
  - FIBER OPTIC
  - CABLE TV
  - SANITARY SEWER
  - FORCE MAIN
  - STORM SEWER
  - WATER MAIN
  - GAS
  - EXISTING CONTOUR
  - MANHOLE
  - CATCH BASIN
  - CATCH BASIN (ROUND)
  - ROOF DRAIN
  - HYDRANT
  - WATER VALVE
  - GAS VALVE
  - UTILITY POLE
  - GUY WIRE
  - GAS METER
  - ELECTRIC METER
  - UTILITY PEDESTAL
  - TRAFFIC SIGNAL
  - LIGHT POLE
  - IRON PIPE FOUND/SET
  - REBAR FOUND/SET
  - CHISELED CROSS FOUND/SET
  - PK NAIL FOUND/SET
  - SPIKE/NAIL
  - MONUMENT
  - MONITORING WELL
  - SIGN
  - DECIDUOUS TREE
  - CONIFEROUS TREE
  - BUSH
  - POST





Wangard is comprised of several integrated real estate service operations where trust and integrity are the core tenets of everything we do. We are committed to excellence in commercial real estate development, acquisitions, investment real estate brokerage and property management.

Wangard specializes in green, sustainable, and efficient multi-family, retail, industrial, and office development nationwide. Our portfolio includes numerous projects that have received recognition and awards from industry and community groups alike. We are highly selective in the assignments we undertake with a philosophy to provide the highest degree of service, assuring the quality and attention each assignment needs and deserves. Our goal is to provide aggressive returns to our investors, while diligently managing the risks associated with commercial real estate development.

Wangard has the capabilities to create, plan, manage, finance, and construct development projects efficiently and cost effectively. Our team takes a hands-on approach to every project based on a thorough knowledge of local markets and building requirements. We provide seamless solutions to achieve results, using our expertise, assets, and credentials to guide projects from start to finish. Wangard acquires, own, and manages properties in all major asset classes and has acquired and developed in excess of \$300,000,000.

Wangard currently manages more than 2,000,000 square feet of office, industrial, retail and corporate facility space throughout the Midwest. We work closely with clients to develop solutions that conserve energy, create healthy environments and improve life system costs.

Our team employs a focused approach to financial reporting, capital improvement assessment and implementation, asset planning, tenant retention, operational budgeting and analysis, and facility maintenance. We're committed to maximizing asset value and create comprehensive management plans for every project.

Wangard is a financial and professional services firm specializing in the sponsorship of direct-deed, real estate co-ownership investments, 1031 exchange brokerage, and private equality fund investment. Wangard has built a sterling reputation in real estate syndication, sourcing off-market opportunities, and core investments for our investors.

## WANGARD CERTIFICATIONS

Wisconsin Minority Business Enterprise (MBE)  
 High Pointe Office Center LEED certified Existing Building: Operations and Maintenance  
 High Pointe Office Center ENERGY STAR Label, 2009, 2010, and 2011  
 Central Contractor Registration (CCR) Department of Defense  
 Wisconsin Supplier Development Council



## AFFILIATIONS

National Association of Minority Contractors (NAMC)  
 Wisconsin Minority Business Opportunity Committee (MBOC)  
 Wisconsin Economic Development Association  
 US Green Building Council (USGBC)  
 Wisconsin Green Building Alliance (WGBA)  
 ENERGY STAR Partner  
 Building Owners and Managers Association (BOMA)  
 Commercial Association of Realtors – Wisconsin (CAR-W)  
 Institute of Real Estate Management (IREM)  
 International Council of Shopping Centers (ICSC)  
 Commercial Real Estate Development Association (NAIOP)  
 National Association of Realtors (NAR)  
 Urban Land Institute Member (ULI)  
 Wisconsin Real Estate Alumni Association (WREAA)  
 Wisconsin Realtor Association (WRA)  
 Wisconsin Hispanic Chamber of Commerce (HCCW)  
 Watertown Chamber of Commerce  
 Chippewa Falls Chamber of Commerce  
 Oconomowoc Chamber of Commerce  
 West Suburban Chamber of Commerce  
 Wauwatosa Chamber of Commerce



## WANGARD AWARDS & RECOGNITION

*The Business Journal's* – 40 Under 40 Award 2013, Tony DeRosa  
 Wauwatosa Chamber of Commerce – 2012 Regional Impact Award  
*The Daily Reporter's* – 2012 Developer of the Year Award  
 The Greater-Milwaukee Business Journal's Book of Lists, 2012:  
 10<sup>th</sup> Largest Milwaukee-area Minority-Owned Business  
 The Greater-Milwaukee Business Journal's Book of Lists, 2009-2013:  
 Largest Milwaukee-area Office Property Management Firm\*  
 Largest Milwaukee-area Commercial Real Estate Brokerage\*  
 Largest Milwaukee-Area Industrial Property Management Firm\*  
 Largest Milwaukee-area Retail Property Management Firms\*  
 \*Noted as one of the Top 25 in Milwaukee, Waukesha, Ozaukee, Washington, Racine, Walworth,  
 and Kenosha Counties  
 High Pointe Office Center certified LEED Existing Building: Operations and Maintenance GOLD -2011  
 Hispanic Magazine named Wangard Partners, Inc. as Top Hispanic Entrepreneur in the United States,  
 2003



# THE WANGARD TEAM



## **Stewart Wangard, Chairman / CEO**

Stewart has more than 37 years of commercial real estate brokerage, leasing, development, property management and syndication experience in the Wisconsin, Midwest and national marketplaces. He has been involved in over one billion dollars in real estate sales and has leased/managed nearly 5 million square feet of office property. As founder of the company, he believes in creating valued partnerships by bringing together key stakeholders in the community to ensure a development's success. Through Stewart's leadership, the firm has experienced continual growth, gaining a reputation as one of the top developers in the region.



## **Wayne Wiertzema, President**

As President, Wayne oversees the operational functions of Wangard including property management, accounting and HR. He is intricately involved in the development activities for the company ensuring a focused strategy that leads to successful projects. Wayne brings over 25 years of construction and project management experience to the process. Prior to Wangard, Wayne held increasingly responsible positions including VP of Real Estate and Development at Fresh Brands, Inc., the parent company to Piggly Wiggly supermarkets. During his twelve years there, he was directly responsible for over 100 commercial projects including new stores and addition/remodels of existing stores.



## **Tony DeRosa, Vice President - Development**

Tony DeRosa is involved in all aspects of the development process, including site selection, due diligence, and financing and maintains a leadership role spiriting the growth of their multi-family development. Over the past 3 years alone, Tony has been instrumental in helping to develop in excess of \$50 million of developments and distinguish Wangard as one of the top developers in the industry. He was recently awarded The Business Journal's 2013 40 Under 40 Award. Tony graduated with distinction honors from the University of Wisconsin – School of Business/ Real Estate & Urban Land Economics.



## **Shawn Selk, Controller**

Shawn is a Certified Public Account with over 14 years of multi-faceted experience in reporting, budgeting and forecasting, taxes, consulting, and process improvement. Since joining Wangard in 2012, Shawn has identified over \$1.4 million in taxable income that outside preparers over reported, leading to successfully amended tax returns. Over his career, he has helped to negotiate concessions of over \$1 million in real property assessments in a given year.



### **Jen Devitt, Corporate Counsel**

Jen has significant experience in commercial real estate transactions, including leasing, financing, acquisition and sale/leasebacks. She has assembled, structured and closed nearly 100 commercial real estate transactions, including all aspects of real estate acquisition and disposition and is highly experienced with new market tax credits. In 2012, Jen was named the President-Elect of Wisconsin Commercial Real Estate Women, a premier industry networking organization. Prior to joining Wangard, Jen worked in the Real Estate Practice Group of Foley & Lardner LLP. She graduated law school in the top 5% of her class from Washington University in St. Louis where she was elected to the Order of Coif and the Order of Barristers.



### **Jody Nelson, Vice President - Property Management**

Jody has over 20 years of commercial real estate experience in which she has managed over 5 million square feet of commercial property. She is a Certified Property Manager (CPM), a premier real estate management credential. As part of Jody's commitment to the industry, she served as President for an unprecedented two year term of BOMA-WI, the Wisconsin branch of an international organization that represents the owners and managers of all commercial property types including nearly 10 billion square feet of U.S. office space. She assists in the growth of third party management of commercial real estate while managing the performance of the company's existing portfolio including several LEED Certified buildings.



### **Frank V. Roman, Jr., Vice President - Finance**

Frank is responsible for managing the equity relationships for Wangard's development and investment initiatives. He has over 25 years' experience in the commercial real estate field, during which he has managed approximately \$2 billion of financing and risk management products for office, retail, industrial and apartment projects from both lender and borrower positions. During his tenure with Jones Lang LaSalle, he was awarded the Jones Lang LaSalle Club award, recognized by his peers for exceptional performance in launching the firm's proprietary development business. Frank is a graduate of Wabash College, and received his M.B.A. in Finance from Loyola University in Chicago.



### **Kim Guerrero, Senior Property Manager**

Kim has over 20 years of real estate asset, facility and project management experience, managing a wide range of properties from office, industrial, retail and residential buildings for institutional, corporate and private types of ownership. She is a Certified Property Manager (CPM), a distinguished real estate management designation. Prior to joining Wangard, Kim managed Northwestern Mutual's newest office buildings and parking structures located in Franklin Wisconsin which included 1 million square feet of office space situated on 84 acres of land. She was also responsible for a combined Milwaukee and Franklin campus operating budget of \$4.5 million and high profile capital projects budget of \$7 million.

**Eric Yao, Director, Capital Markets**

Eric plays a major role in acquisition, asset management, and disposition of a portfolio of \$100+ million investment properties. He also assists in pre-planning and capital sourcing of the company's development projects, including \$53 million completed projects over the past three years and \$100+ million in the pipeline. Eric received his MBA in Real Estate from The University of Wisconsin Madison and Master of Science in Economics from Renmin University of China. He is an ARGUS Certified User and a Wisconsin licensed real estate broker.

**Burton Metz, Project Manager / Leasing Agent**

Burton is responsible for maximizing the value of Wangard's 2,500,000 square feet of office, industrial and retail properties. With his unique background in real estate brokerage, entrepreneurial management and financial analysis, he customizes end-to-end real estate solutions for each client. From performing site selection, modeling the economics of the deal, to managing the project's construction process, his well-rounded approach drives a solution that is on time, within budget, and encompasses exceptional quality. Since just 2011, Burton has created approximately \$25 million of capitalized value through his transactions.



## NEWSMAKERS OF THE YEAR

Developer of the Year, Wangard Partners Inc.

# Talent and vision guide Wangard Partners

By MaryBeth Matzek



Photo by Kevin Harnack

(From left) Stewart Wangard, Wayne Wiertzema and Tony DeRosa



(STEWART WANGARD) IS ALL ABOUT HOW EVERYONE CAN WORK TOGETHER TO MEET THE GOALS."

**ROCKY MARCOUX,**  
commissioner,  
Milwaukee Department of City Development

At a time when many developers are struggling to complete projects, Wangard Partners Inc. is growing its portfolio.

From building the new 1910 On the Water apartment project in Milwaukee to redeveloping the former Downer Garage into a strip mall on Milwaukee's North Avenue, the company is getting projects done.

"Stewart (Wangard) is straightforward and doesn't dance around when it comes to a project," said Rocky Marcoux, commissioner for the Milwaukee Department of City Development. "He's all about how everyone can work together to meet the goals."

Chairman and CEO Wangard credited the Milwaukee-based firm's success to the team of professionals he has put together since founding the company in 1985.

"My staff is accomplished and passionate about what they do," he said. "As a firm, we try to focus on projects that have a purpose. Sustainability and comfort are key."

In spring, Wangard Partners will break ground on the \$20 million, multiphase Park East Square project,

a multiuse development in downtown Milwaukee.

Success, Wangard said, depends on planning for the company's future and finding ways to meet those goals, no matter who the client is.

"With commercial clients, you need to realize you are working for them and making sure their needs are being met," he said. "When we do residential projects, it's about what's beyond the front door. It's about creating a community and putting in places where tenants can gather."

Wangard said the company weathered the economic downturn effectively by relying on reserves and building a good team.

"We also have solid banking relationships with Associated Bank and others," he said, "and that's essential to getting projects done."

And the company, Wangard said, is continuing to add to its stable of talent.

"People sometimes can't believe we were hiring as other people were cutting back," he said, "but I believe that if you invest in your employees and invest in your company's infrastructure that it will serve you in the long run."

## STEWART WANGARD

"You start with the germ of an idea or your client has an idea and it's your responsibility to create the vision and you convert it into bricks and mortar."

# Building a vision, creating a community

BY SEAN RYAN  
seanryan@bizjournals.com

A one-week class at Harvard University changed the course of Stewart Wangard's career.

It was 2005, Wangard had already served as president of The Boerke Co. and grown Wangard Partners Inc., which he founded 13 years earlier, into one of the top real estate brokerage firms in the Milwaukee area. Harvard accepted his application for the rigorous course, and he joined a group of 40 real estate pros assembled from around the world.

When he returned to Milwaukee, Wangard told his wife that he was dropping the brokerage side of the company, abandoning a huge investment in that business, to focus entirely on development.

"There's this hunger that all of us have to go and improve ourselves and I knew that I was doing a good job in the Milwaukee area,

"We all have **AREAS OF FOCUS** that we are strong in."

**Tony DeRosa**  
Wangard Partners Inc.

but I realized I had a lot more to learn," Wangard said. "They dove down deep and they said, 'OK, why are you doing this?' I've always enjoyed the real estate brokerage business, working for others."

"There's a tremendous difference though, once you get to the development side. The development side is a creative process. You start with the germ of an idea or your client has an idea and it's your responsibility to create the vision and you convert it into bricks and mortar."

Wangard's first project after making that shift was the High Pointe Office Center on North Mayfair Road in Wauwatosa, where Wangard Partners' office is located. Wangard keeps a photo of the Harvard class in his office there.

Since developing High Pointe, Wangard has grown to become one of the most active developers in the Milwaukee area. In the past two years, his projects include The Preserve at Prairie Creek, which started its second phase in Oconomowoc last month; the six-story apartment building at 1910 N. Water St. in Milwaukee; a new Grafton office for Regal-Beloit Corp.; and the multi-phase Park East Square apartments in Milwaukee. He also has



SCOTT PAULLUS

development sites in Shorewood and one near 1910 N. Water St. and Park East Square in Milwaukee. Wangard's projects stretch from northern Illinois to Minneapolis.

"Milwaukee's always been important to us," Wangard said. "We're now bringing the money back home and we're investing locally."

Wangard said his job is to build communities. That includes the job-creation from construction, but also the effect buildings have on the neighborhood. His projects are heavy on commons areas and public spaces.

"People in the development world are considered out there as somebody who is just trying to go and develop a project purely for personal gain," Wangard said. "It's not. When we're developing projects, you've got to keep in mind there are a lot of people who are impacted by our projects. Our investors are one. Our lenders are involved. The people who work on the projects; we're heavily involved in job creation."

## FINDING PARTNERS

Wangard constantly returns to the theme of teamwork, or partnership, when talking about his business. That includes 100 investors who

are involved with his projects, contractors who build them and architects who design them. It is also evident in the way he spoke about resolving a conflict this past summer with the Service Employees International Union Local 1, which had protested Wangard Partners' hiring of a nonunion company to clean a Milwaukee office building. Partially with the assistance of Milwaukee Mayor Tom Barrett and Department of City Development commissioner Rocky Marcoux, the parties reached an agreement in September.

"It's much, much more difficult when you are personally involved, and at times, you need to go and step back and listen to the other people around you," Wangard said. "We understand there is a common ground. How do you go and make Milwaukee as vibrant as possible? How do you create jobs in Milwaukee? You can't have any one group or individual hold that back."

Wangard's emphasis on his partners is especially evident when he talks about the 28 workers at his company, especially president Wayne Wiertzema and Tony DeRosa, vice president.

**NAME:** Stewart Wangard  
**AGE:** 56  
**COMPANY:** Wangard Partners Inc.  
**TITLE:** Chairman and chief executive officer  
**EDUCATION:** Attended University of Wisconsin-Eau Claire  
**FAMILY:** Wife, Kari; three horses and two dogs  
**RESIDES:** Oconomowoc

2.4.c

## JUDGMENT CALLS

**BEST DECISION:** "Opening up my own company"

**TOUGHEST DECISION:** "To make the transition from a brokerage focus to development and management"

**LIKE BEST ABOUT YOUR JOB:** "I love the creative aspect. I love to see buildings coming out of the ground and the vision becoming a reality."

**MOST IMPORTANT LESSON LEARNED:** "This is a people business and we're working for our tenants."

## FUNFACTS

**WHAT BOOKS ARE YOU READING:** "Stony by Design: The Artistry of Lew French" and "The First American: The Life and Times of Benjamin Franklin"

**PASTIMES:** Snow, water and cross-country skiing, horseback riding, traveling

**WHAT'S PLAYING ON YOUR CAR RADIO:** WYMS-FM (88.9) "Radio Milwaukee"

**FIRST CAR:** 1962 Dodge Dart — "It was my brother's, but we used to joke that no matter what we did with that car, we could not smoke the tires."

"We all have areas of focus that we are strong in," DeRosa said. "It just kind of naturally has happened where there are people of a project where one of us takes a lead. Wangard is still hungry — he wants to create his base of investors and keep a solid team the company to push more projects forward. "Short-term, it's just getting buildings built," he said. "Getting as many jobs as possible."



## 1910 ON WATER

1910 N. WATER STREET  
MILWAUKEE, WI

SIZE: 68 RESIDENTIAL APARTMENT UNITS

COMPLETED: SEPTEMBER 2012

TOTAL DEVELOPMENT COST: \$11.5M

1910 on Water sits on a 0.52 acre parcel of land situated at the intersection of N. Astor Street and N. Water Street and includes 68 new apartments blended into a half-acre hillside located in a historic urban Milwaukee neighborhood. The new structure, designed to meet the needs of its Millennial generation target market, has smaller units, but features an urban location with convenient connections to a variety of amenities and commanding views of the surrounding area.

The main entry to the building and the parking entrance are located on Water Street. The primary building entry, community room, leasing/management office and fitness center are located on the ground floor and feature large areas of glass. The upper street has a more resident-oriented point of entry that allows a quiet connection to the residential neighborhood. The upper four levels, which are visible from all four sides of the property, is "U"-shaped structure with a courtyard that faces south. The courtyard is designed with an accessible green roof.

The modern structure enhances the sense of community in this increasingly revitalized urban neighborhood on the edge of downtown Milwaukee.



## THE PRESERVE AT PRAIRIE CREEK

1200 PRAIRIE CREEK BOULEVARD

OCONOMOWOC, WI

SIZE: 228 RESIDENTIAL APARTMENT UNITS

COMPLETED: PHASE I - SPRING 2012; PHASE II – August 2013

TOTAL DEVELOPMENT COST: Phase I - \$11.3M; Phase II -\$12.2M

The Preserve at Prairie Creek Phase I and II is a 35 acre property developed to accommodate 228 luxury multi-family apartment units. The first phase proved to be extremely successful, meeting the demand for apartment renters in the Oconomowoc and surrounding area and has been 100% leased since its completion in June 2012. Phase II began in October 2012 and will be completed in September 2013.

Offering spacious floor plans, a resort-style clubhouse, and ideal location within walking distance of grocery, specialty stores, and restaurants, the Preserve's apartment homes accommodate a carefree lifestyle. The Preserve offers spacious floor plans and amenities featuring a clubhouse with fully equipped kitchen, entertainment room, fitness center, and heated outdoor swimming pool. The site sits between two major arterials, Highway P and Highway 67 and is located within minutes of downtown Oconomowoc and 30 minutes from Milwaukee.

The project includes a long history of dedication to maintaining a natural preserve. Wangard worked with the engineering team to design a storm water treatment system that utilizes a series of naturally vegetated swales, rain gardens, basins, and wetlands to filter and absorb runoff. The storm water management system protects both Rosenow Creek and its native trout population.



## THE PARK AT 1824

1824 E. PARK PLACE

MILWAUKEE, WI

STUDENT APARTMENTS

SIZE: 61 UNITS (173 BEDS)

COMPLETED: JULY 2009

TOTAL DEVELOPMENT COST: \$11M

The concept behind the The Park at 1824 luxury student housing project is to serve the housing needs of the growing Milwaukee student population by providing fully furnished, for rent units in a modern building with attractive amenities. The project is located a short four blocks from the University of Wisconsin-Milwaukee campus, which has an enrollment of 28,300 students. The Park at 1824 is located on the UWM transit route, an escort and van transportation service, which is free to UWM students.

Amenities include in-unit hookups for Internet, cable and higher-end finishes. Building amenities include a laundry facility, workout area with state-of-the-art exercise equipment, lounge/study area, and Wi-Fi access throughout the common areas. It is also fully furnished with many details catering to students' needs. The enclosed underground parking garage has approximately one parking stall per unit. This project was completed in July 2009.



## **BOULEVARD PLACE**

8255 SKOKIE BOULEVARD

SKOKIE, IL

SIZE: 31 RESIDENTIAL UNITS, 1 COMMERCIAL UNIT

COMPLETED: SPRING 2010

TOTAL DEVELOPMENT COST: \$4.6M (OWNERSHIP); \$10M (PRIOR OWNERSHIP)

Boulevard Place is a newly constructed condominium in the heart of Skokie Village, a northern Chicago suburb. The building has been converted from condominiums to luxury apartment units. This Class A development is located within close proximity to the Illinois Science & Technology Park and within blocks of the new 2010 commuter rail (SWIFT) station.

The multi-family building houses 43 heated garage parking spaces and 12 surface parking spaces. Additional amenities include a first level fitness room, community room, and on-site management office. The average unit size is nearly 1,400 square feet with various 1 and 2 bedroom units a ranging from 1,020 to 2,092 square feet.

## Carla Ledesma

---

**From:** Kluessendorf, Joanne [joanne.kluessendorf@uwc.edu]  
**Sent:** Sunday, August 18, 2013 1:48 PM  
**To:** Tamara Szudy  
**Subject:** Schoonmaker reef

Tammy,

We were out of the office last week, and were unable to reply to your message earlier.

We have significant concerns about the new plans by the Wangard Partners for the property owned by David Israel because of its potential impact on the Schoonmaker Reef National Historic Landmark (SRNHL). In particular, the location of the 39 Unit Building is within and adjacent to a major portion of the landmark. If built as suggested by these plans, this building would have a significantly negative impact on the educational, historical, scientific, and aesthetic value of more than half of the landmark site.

In looking over these plans, we believe that there has been an important misconception about the location of the SRNHL, which might account for some of these issues. Specifically, "Historical Schoonmaker Reef" on the map has been mistakenly located at a central site along the bluff. This is not the location of either the National Historic Landmark or the Schoonmaker Reef.

We believe that some of the confusion concerning the location of the Reef and Landmark results from the recent donation of the Derse property to the City. We want to state clearly, however, that, contrary to some media reports, the Derse property and adjacent land to the south is not part of the Schoonmaker Reef and, most importantly, it does not contain any portion of the Nation Historic Landmark as designated by the National Park Service in 1997. The Derse property is only a wooded portion of the bluff east of the SRNHL and in no way can it substitute for the educational, historical, or scientific value of any portion of the SRNHL. All of the important features of this Landmark are located to the west of the Derse land on the Israel property.

Without creating a new map, we would suggest that a simplified description of the SRNHL location on the Israel property would be as follows:

For the south boundary, the area north of the concrete retaining wall starting just north of the northeast corner of the 18 Unit Building and extending west from the end of that wall to the west boundary of the property. This boundary represents our most critical concern with the current plans. For simplicity in this written description, we have just extended the line straight west from the end of the concrete wall where it would cross through the location of the 39 Unit Building. We would like to point out, however, that this line would be placed farther north at the Unit 39 building, but it would still cross a portion of the building location. We would suggest that placing the building location as far south as possible should be considered. The west boundary of the SRNHL is at the west property line, although the reef continues farther west. The north and east boundaries are approximately at the current property boundaries, as presented, related to a line extended north of the northeast corner of the 18 Unit Building.

Also, we would like to comment on the "Future Trail" indicated on the plans. For many years, there has been interest in having a trail to make the reef site accessible to school groups and to the public. The ideal trail location would be extending west from 62<sup>nd</sup> Street along the base of the bluff (and north of the concrete retaining wall) to the SRNHL. As presented in the new plans, the suggested trail

Attachment: Schoonmaker reef - Mikulic-Kluessendorf email (1608 : 1215 N. 62nd Street - BPD - Wangard)

location is located at or near the top of the bluff, which would create several problems. Most importantly, the reef cannot be seen from the top of the bluff. In addition, it would be difficult for school groups or others who may not be in good physical condition to hike up and down what is a rather steep grade. There is also no flat area to hike on through most of the upper bluff except at the top, which is located on property behind private homes. In general, the upper bluff trail would have no educational value nor would it provide any useful access to the Landmark.

We have two comments concerning statements under “Modifications to Original Plan.” First, the proposed “Public Parking” area is too far from the reef to have any usefulness. If a parking site is to be provided, it should be located on the west side of the property near the SRNHL. Second, the statement about connecting development with the natural landscape with the Schoonmaker Reef is incorrect, as it provides only a partial view of the reef. In the current plans, the location and elevation of the 39 Unit Building would obstruct much of the reef view.

Several years ago, we discussed the plans for the site with previous developers. As a considerable amount of time has passed and new companies or individuals have become involved, we think it would be beneficial to have another on-site meeting for all involved at which the specifics of the SRNHL could be clearly outlined. As the authors of the NHL proposal for the National Park Service, we believe that we could best answer any questions about this nationally-significant and unique Wauwatosa landmark.

Donald G. Mikulic, Ph.D.  
Senior Paleontologist  
Illinois Geological Survey  
University of Illinois  
Champaign, IL

Joanne Kluessendorf, Ph.D.  
Director  
Weis Earth Science Museum  
University of Wisconsin-Fox Valley  
Menasha, WI

CITY OF WAUWATOSA  
MEMO



To: **Community Development Committee**

From: **Tamara Szudy**

Date: **August 15, 2013**

Subject: **Request by Phil Aiello, Mandel Group Properties, LLC, and David Gilbert, UWM Real Estate Foundation, for a Planned Development Amendment at approximately 9722 Watertown Plank Road to construct a multifamily development and related development in the Eschweiler buildings**

---

**A. Issue**

Request by Phil Aiello, Mandel Group Properties, LLC, and David Gilbert, UWM Real Estate Foundation, for a Planned Development Amendment at approximately 9722 Watertown Plank Road to construct a multifamily development and related development in the Eschweiler buildings

**B. Background/Options**

The Mandel Group proposes to construct a 188 unit residential development on 8.5 acres (Lot 4) at Innovation Campus. Two scenarios are proposed for this development, with the difference being the possible redevelopment of the Eschweiler buildings. Due to site constraints, both scenarios include new development consisting of six three-story buildings with underground parking wrapping around the Eschweiler buildings and demolition of the powerhouse (northernmost building). In Plan A, all four historic Eschweiler buildings are preserved for use by the Forestry Exploration Center (FEC) charter school, or some other compatible use. Some apartment amenities will also be located in the Administration building. In Plan B, if the FEC, or some other compatible use, does not materialize, Mandel will rehabilitate the Administration building for apartment amenities and office space for non-profits. Two Eschweiler buildings (Dormitory and Dairy) will be converted to walled gardens and the Engineering building will be demolished.

Two conditions on the 2010 original resolution approving Innovation Campus (enclosed) specifically relate to this development. Condition #7 limits the residential development, including the Eschweilers, to 200,000 s.f. It is staff's understanding that this figure was a ballpark number based on a construction professional's best guesstimate at the time as to how much new development was necessary to support rehabilitation of the historic buildings. Both Mandel options exceed this figure - Plan A is approximately 277,500 s.f and Plan B is 237,500 s.f. However, as this application is an amendment, previous conditions placed on the development can be modified. The other condition, #14, designated the Historic Preservation Commission as the design review board for the entire residential development. On July 17<sup>th</sup>, the Commission conceptually approved the design and materials for this development. In addition, as the Eschweiler buildings are a designated historic district, the Historic Preservation Commission was required to approve a Certificate of Appropriateness for the two development scenarios, which occurred on May 13<sup>th</sup>.

As mentioned during previous Innovation Campus development approvals, there are public concerns that the overall development is not following the conceptual master plan that the City adopted in 2010. From the beginning, it was well known that the campus development would be evolving and

modified due to the balance of many interests including habitat protection, natural landscape, historic preservation, DOT improvements, and economic development. The 2010 master plan was also an evolution of the 2004 Milwaukee County Grounds Master Plan and Design Guidelines by Kubala Washatko, which did not address habitat protection, DOT improvements, or the change to the site contours due to 10-30 feet of fill from the MMSD detention basins construction. The 2010 Council resolution and adopted plan are the guiding documents for this development, but due to the nature of planned developments, plans can be modified with appropriate approvals.

The Plan Commission reviewed this item on August 12<sup>th</sup> and recommended approval 5-0 with the following conditions

1. plans showing adequate sewer capacity and storm water management subject to approval by the city engineer
2. plans for water supply to site and hydrant placement subject to approval by the city water superintendent
3. developer's agreement approved by the Common Council
4. obtaining any additional licenses and permits
5. the landscape plan can be adapted by the Mayor's UWM workgroup as a collaborative consensus and adhere to at least a three year natural landscape maintenance plan

**C. Recommendation**

Staff recommends approval with the conditions listed above.



Attachment: 9722 Watertown Plank Rd - map (1607 : 9722 Watertown Plank Road - BPD amendment - Mandel)

DISCLAIMER: This data is provided by the City of Wauwatosa for informational purposes only. The City does not warrant or guarantee the accuracy or reliability of this data. The recipient of this data assumes any risk of its use for any purpose.

Map Printed: 6/24/2013 3:50:14 PM



August 2, 2013

Ms. Tamara Szudy  
Principal Planner  
City of Wauwatosa  
7725 W. North Avenue  
Wauwatosa, WI 53213

301 East Erie Street  
Milwaukee, WI 53202-6005  
414-347-3600  
414-347-3607 fax  
www.mandelgroup.com

RE: Revised Information for PUD Amendment Application for Eschweiler Development

Dear Tammy,

Please find the attached information with revised plans for the Eschweiler PUD Amendment Application. Please feel free to contact me if you need additional information as you prepare the application for review by the Plan Commission on August 12, 2013.

We look forward to the working with the City of Wauwatosa during this review process.

Sincerely,

A handwritten signature in black ink, appearing to read "Phillip Aiello".

Phillip Aiello  
Senior Development Manager

Enclosures (3)

Attachment: Eschweiler PUD Amendment Revised Materials - 20130802 (1607 : 9722 Watertown Plank Road - BPD amendment - Mandel)



# Zoning Application

City of Wauwatosa  
 Planning Division  
 7725 West North Avenue  
 Wauwatosa, WI 53213  
 414-479-8957  
[www.wauwatosa.net](http://www.wauwatosa.net)

**PROPERTY INFORMATION**

Project Address: Residential Parcel on Innovation Campus. Please see attached CSM. Proposed Use: Mixed Use. Please see attached project description.  
 Project Name: Eschweiler Residential Development Current Zoning: Planned Unit Development  
 Previous Use: Most Recent Previous Use: Office

**ATTACH DETAILED DESCRIPTION OF PROPOSAL** including plan of operation, hours of operation, number of employees, etc

In order to be placed on the Plan Commission agenda, the Planning Division must receive the completed application, fee, project description, min. 3 sets of plans (max. size 11" by 17") and description and plans via email or on disk by the applicable Plan Commission deadline. See Plan Commission brochure for deadlines and additional information.

<b><u>Applicant or Agent Information</u></b>	<b><u>Property Owner Information</u></b>
Name <u>Phillip Aiello</u>	Name <u>David Gilbert</u>
Company <u>Mandel Group Properties LLC</u>	Company <u>UW-Milwaukee Real Estate Foundation, Inc.</u>
Address <u>301 E. Erie Street</u>	Address <u>1440 E. North Avenue</u>
City <u>Milwaukee</u> State <u>WI</u> Zip <u>53202</u>	City <u>Milwaukee</u> State <u>WI</u> Zip <u>53202</u>
Phone <u>(414) 270-2759</u>	Phone <u>(414) 906-4670</u>
Email <u>paiello@mandelgroup.com</u>	Email <u>dhg@uwmfdn.org</u>

Applicant or Agent Signature: *Phillip Aiello* Date: 6/14/13  
Authorized Representative  
 Property Owner Signature: *Bruce T. Blunk, Chairman* Date: 6/14/13

**APPLICATION TYPE- CHECK ALL THAT APPLY**

Acct# 01-521-4400-000 <input type="checkbox"/> Conditional Use - \$250 <input type="checkbox"/> Zoning Code Text Amendment - \$150 <input type="checkbox"/> Zoning Code Map Amendment -\$250 <input type="checkbox"/> Preliminary Planned Development -\$300 <input type="checkbox"/> Final Planned Development - \$300 up to and incl. 1 acre + \$100 for each add'l acre <input checked="" type="checkbox"/> Planned Development amendment - \$200	Acct# 01-511-4500-000 <input type="checkbox"/> Land Division - \$100 <input type="checkbox"/> Certified Survey Map - \$300 <p style="text-align: center;"><i>Make checks payable to City of Wauwatosa</i></p> <p style="text-align: right;"><b>TOTAL FEE</b> <u>\$200.00</u></p>
--	---

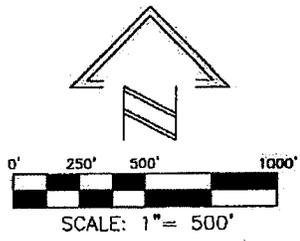
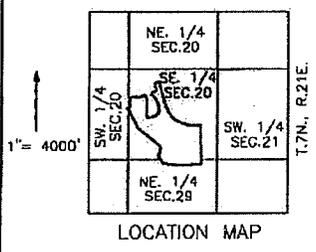
<b>FOR CITY USE ONLY:</b> Accepted by _____ Date _____  <input type="checkbox"/> Entered into BluePrince <input type="checkbox"/> Copy to City Clerk Office	<b>Fees</b> Amount Paid _____  Receipt # _____ Date paid _____  Updated May2013	<b>Meeting Dates</b> Plan Comm _____  Comm Devel _____ Council _____ Other _____
--	---	---

Attachment: Eschweiler PUD Amendment Revised Materials - 20130802 (1607 : 9722 Watertown Plank Road - BPD amendment - Mandel)

Document 10052824  
Recorded November 11, 2011  
Milwaukee County Register Deeds

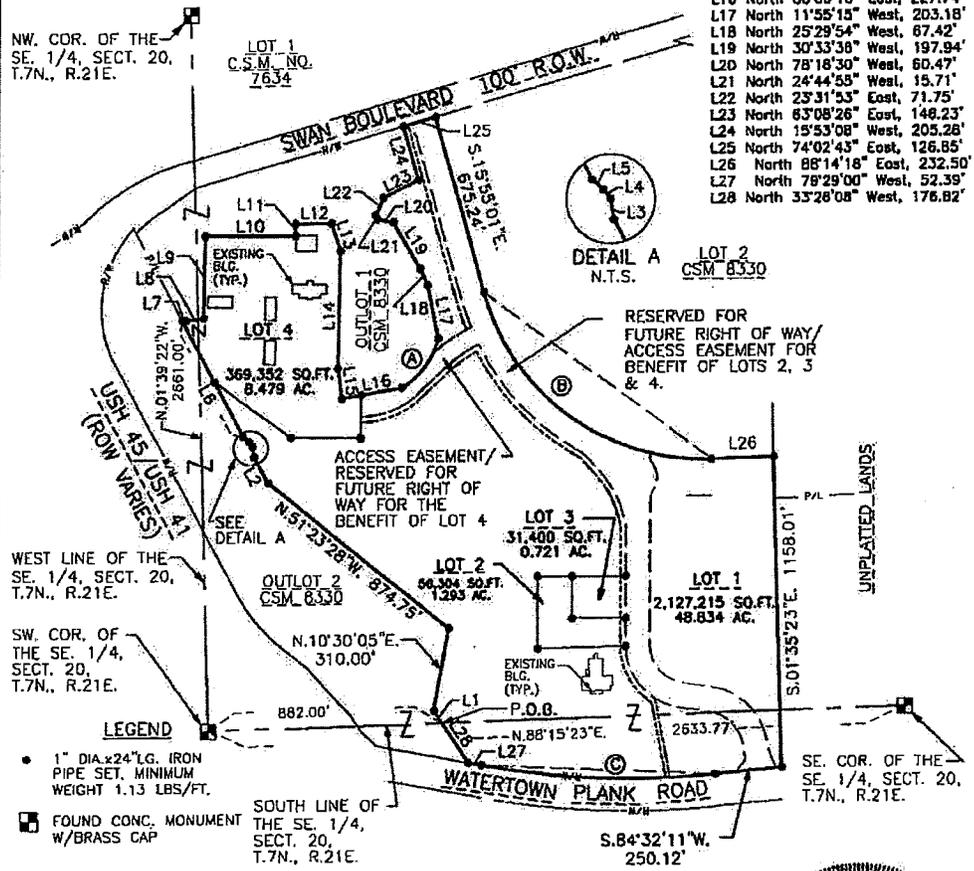
### CERTIFIED SURVEY MAP NO. 8401

Being a division of Lot 1 of Certified Survey Map No. 8330 in the Northwest 1/4, Southeast 1/4, and the Southwest 1/4 of the Southeast 1/4 of Section 20 and the Northeast 1/4 of the Southwest 1/4 of Section 20 and the Northeast 1/4 and the Northwest 1/4 of the Northeast 1/4 of Section 29 in the Township 7 North, Range 21 East, in the City of Wauwatosa, Milwaukee County, Wisconsin.



**LINE TABLE**

L1	North	33°26'08"	West	57.68'
L2	North	28°29'22"	West	109.67'
L3	North	09°02'58"	West	38.81'
L4	North	34°18'22"	West	20.13'
L5	North	49°10'23"	West	30.80'
L6	North	28°29'22"	West	492.84'
L7	South	83°26'16"	East	14.34'
L8	North	81°46'06"	East	68.43'
L9	North	00°59'04"	East	304.49'
L10	South	90°00'00"	East	339.71'
L11	North	00°20'55"	East	44.23'
L12	North	89°50'24"	East	138.74'
L13	South	18°26'45"	East	105.05'
L14	South	00°53'40"	West	437.61'
L15	South	07°30'33"	East	112.50'
L16	North	60°00'16"	East	227.74'
L17	North	11°55'15"	West	203.18'
L18	North	25°29'54"	West	67.42'
L19	North	30°33'38"	West	197.94'
L20	North	78°18'30"	West	60.47'
L21	North	24°44'55"	West	15.71'
L22	North	23°31'53"	East	71.75'
L23	North	63°08'26"	East	148.23'
L24	North	15°53'08"	West	205.28'
L25	North	74°02'43"	East	126.85'
L26	North	88°14'18"	East	232.50'
L27	North	78°29'00"	West	52.39'
L28	North	33°26'08"	West	176.82'



Please note that the Eschweiler parcel is identified as Lot 4 on this Certified Survey Map.

**REFERENCE BEARING**  
All bearings are referenced to the south line of the SE. 1/4 of Sect. 20, T.7N. R.21E. which bears N.88°15'23"E. and is referenced to Grid North of the Wisconsin State Plane Coordinate System, South Zone.

**OWNER**  
UWM INNOVATION PARK, LLC

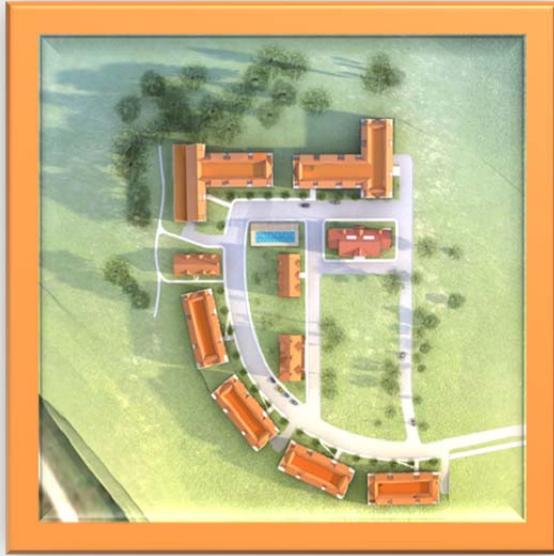
- NOTES:**
- SEE SHEET 2 FOR INTERIOR LOT LINES AND CURVE DATA
  - SEE SHEET 3, 4 AND 5 FOR ACCESS EASEMENT AND UTILITY EASEMENTS



THIS INSTRUMENT WAS DRAFTED BY: MICHAEL J. RATZBURG JOB NO. 20090184 SHEET 1 OF 14

10/31/2011  
11:56:34 AM

Attachment: Eschweiler PUD Amendment Revised Materials - 20130802 (1607 : 9722 Watertown Plank Road - BPD amendment - Mandel)



Eschweiler Development  
Planned Unit Development Application

June 14, 2013  
Revised Materials – August 1, 2013



## **PROJECT DESCRIPTION**

This mixed-use development is located on an 8.5 acre parcel on the northwest portion of Innovation Campus (See Addendum A and B). The Historic Preservation Commission approved a Certificate of Appropriateness for two plans. The Certificate of Appropriateness approval has been attached as Addendum C to this application. A description of the two plans is included below.

### **Plan A – Complete Eschweiler Preservation Plan**

Plan A includes 188 new for-rent residential apartments around and near the existing Eschweiler buildings. These residential apartment buildings will each be three-stories in height with 24 apartments in each of the rectangular buildings along the curved road, 44 apartments in the L-shaped building to the northwest and 48 apartments in the L-shaped buildings to the northeast. The new apartments have a traditional overall aesthetic with modern detailing to pay homage to the Eschweiler buildings without mimicking the buildings. A swimming pool will be built to the west of the Administration Building.

The Eschweiler buildings would be used by the Forestry Exploration Center (or other use compatible with the residential apartments as outlined in the Certificate of Appropriateness) for its University Laboratory School with the first floor of the Administration building utilized by a property management company for leasing offices and resident amenities such as a fitness center, community room, and theater room. The powerhouse building, a non-contributing building to the historic district, will be removed.

### **Plan B – Administration Preservation Plan**

Plan B also would include 188 new for-rent apartments around and near the existing Eschweiler buildings. The layout and design of these buildings is identical to their layout and design in Plan A. These residential apartment buildings will each be three-stories in height with 24 apartments in each of the rectangular buildings along the curved road, 44 apartments in the L-shaped building to the northwest and 48 apartments in the L-shaped buildings to the northeast. The new apartments have a traditional overall aesthetic with modern detailing to pay homage to the Eschweiler buildings without mimicking the buildings. A swimming pool will be built to the west of the Administration Building.

The distinction between Plan A and Plan B lies in the Eschweiler buildings. The first floor of the Administration building would be utilized by a property management company for leasing offices and resident amenities such as a fitness center, community room, and theater room. The second floor of the Administration Building would be used for office space for non-profit organizations, storage, and other uses related to the management of the property. The third floor of the Administration Building would be used by non-profit organizations and residents of the development for large conferences, meetings, or gatherings.

The Dairy and Dormitory Buildings would be converted to walled-gardens by removing the exterior of the buildings down to heights varying from between 6' – 12' (approximately) from the ground. Important architectural entry elements would also be preserved. The interior of the walled gardens would be planted with landscaping to create an attractive amenity for residents and the public. Please note that the renderings of the landscaping on the interiors of the walled gardens are for illustrative purposes only.

The powerhouse building, a non-contributing building to the historic district, will be removed.

Please see the plans, renderings, and other information enclosed with this application depicting both Plan A and Plan B.

### **Operations**

The day-to-day operations of this apartment community will be staffed with full-time management, leasing, and property maintenance staff. Our management company provides a 24-hour emergency response service for after-hours maintenance issues. Our property management staff provides many lifestyle services to residents during normal business hours, including watering houseplants during vacations, pet care, acceptance of parcel packages, hanging pictures, and special events planning for the clubroom.

ADDENDUM A



Innovation Campus depicted with Plan A for Eschweiler residential parcel.

ADDENDUM B



Innovation Campus and surrounding area depicted with Plan A for Eschweiler residential parcel.

**ADDENDUM C**

Certificate of Appropriateness Approval  
May 13, 2013

Attachment: Eschweiler PUD Amendment Revised Materials - 20130802 (1607 : 9722 Watertown Plank Road - BPD amendment - Mandel)

**WAUWATOSA HISTORIC PRESERVATION COMMISSION  
MEETING MINUTES OF MAY 13, 2013**

PRESENT: B. Caron, S. Eiff, B. Faltinson, G. Guskowski, Ald. D. McBride,  
A. Mertens, C. Mitchell, J. Ruzicka

ALSO PRESENT: T. Szudy, Principal Planner; A. Kesner, City Attorney;  
J. Ruggini, Finance Dir.; J. Archambo, City Admin.

Mr. Mitchell as Chair called the meeting to order at 5:32 p.m. in Committee Room #1.

**Design Review – Consideration of a Certificate of Appropriateness for 1530 Church Street**

Mr. Mitchell opened the discussion by referring to the drawing recently received for a new stoop at 1530 Church Street, and said it was not clear by the way the balusters are shown that they are centered under the hand rails. Mr. Mitchell had provided the property owner a drawing specifically showing centered hand rails at the last meeting. The property owner, Ghylin, was present, and said that it was his intention that the railings be built in accordance with Mitchell's drawing. Commissioners agreed that the concerns that were raised in the last meeting about positioning of the top rail to avoid an overlapped look seem to be addressed in the new drawing.

Moved by Mr. Faltinson, seconded by Ms. Eiff, to approve a  
Certification of Appropriateness contingent upon compliance  
with the drawing provided by Mr. Mitchell. Ayes: 8

Mitchell gave Ghylin a copy of the page about porches from the City of Wauwatosa Historical Guidelines Manual which contains examples of appropriate and inappropriate porch designs.

**Consideration of a Certificate of Appropriateness for the Eschweiler Buildings, 9722 Watertown Plank Road; Mandel Group, Applicant**

The request by Mandel is for approval of a Certificate of Appropriateness for:

1. "Rehabilitation of four (4) Eschweiler buildings and demolition of the power house building as shown in Exhibits B and C (the "Complete Eschweiler Preservation Plan").
2. "Approval to proceed with the plan substantially similar to the plan depicted in Exhibits D and E (the "Administration Preservation Plan") in the event that an entity with a use compatible with the proposed residential apartments (the "New Buildings"), as determined in the Applicant's sole reasonable discretion, has not secured financing for the restoration of the interior and exterior of the Administration building and the exterior of the Dairy, Dormitory and Engineering buildings within twelve 12 months from the commencement of construction of the New Buildings. The Applicant acknowledges that the Forest Exploration Center's University Laboratory School is a use compatible with the proposed residential apartments. The Administration Preservation Plan includes the rehabilitation of the Administration building, the partial demolition of the Dairy and Dormitory buildings and the demolition of the power house building as depicted in Exhibits D and E.

"Under the Administration Preservation Plan, the Engineering building would be removed as indicated on Exhibit D to the application."

Mr. Mitchell reviewed the role of the Commission in determining the appropriateness of plans for the Eschweiler buildings as presented at the April 23, 2013 meeting. The matter has been discussed at numerous public meetings, including three public hearings over the past year. The Commission invited and received dozens of letters and hundreds of email comments. The Commission also heard a presentation by an independent auditor verifying the financial information provided.

City Attorney Kesner confirmed that the Commission has followed all proper procedures. Having received the application for a Certificate of Appropriateness on April 12, 2013, the Commission is well within the 45-day time period required in which to take action.

#### Presentation by Applicant

Mr. Phillip Aiello, Senior Development Manager, Group, 301 E. Erie Street, Milwaukee, represented the Mandel Group as well as the Forestry Exploration Center and the UW-M Real Estate Foundation. Other representatives of each organization were present.

Mr. Aiello summarized information presented to the Commission at the April 23, 2013, meeting. He cited past barriers to rehabilitation of the Eschweiler buildings, including the high cost and lack of revenue-producing square footage, and noted reports of developers who walked away from the site due to the question of economic feasibility. The Commission also has heard from other interested members of the public including the preservation community, all of whom, with one exception, are Wauwatosa residents.

Mr. Aiello reviewed plans for the Forestry Exploration Center (FEC) and recounted the strong support for that concept. He said that the proposal provides ample time for the FEC to raise funds for the first phase of their project. He then restated the plans outlined in the application and shown in the preliminary design concept, describing Plan 1 (or Plan A) in baseball terms as a home run and Plan 2 (or Plan B) as a double.

A timeline since May 2012, when the Mandel Group offered the buildings for \$1 to any compatible entity, was displayed. A comparative timeline for 2013 showed the Mandel Group's plans each month alongside the FEC plans. Mandel will proceed through approval and design stages over the next nine months. Construction would take 16 months, beginning in December 2013 at the earliest and ending approximately at the end of the first quarter or beginning of the second in 2015. Under Plan 1, the FEC would begin phase-one construction, which includes rehab of the administration building and stabilization of the others in the first quarter of 2014. Toward the end of the second quarter of 2014, they would begin phase 2 fundraising. It is planned that grades 6-8 would occupy the administration building in September 2014; in 2015 the university lab school would expand to high school and use all of the buildings. If for some reason the FEC cannot move forward 12 months after Mandel begins construction, Mandel would have the right to proceed with Plan 2, the administration building preservation plan.

Mr. Aiello reviewed the linkage between the residential and FEC plans, emphasizing the importance of each to the success of the other. The residential development defrays site development and land acquisitions costs, provides a tax base, and provides funds to advance the campus plan. The Eschweiler proposal provides lenders and investors the needed certainty of approved scenarios for rehabilitation/preservation. Mr. Aiello said that a favorable market environment indicates that this is the time to move forward. He requested approval of the Certificate of Appropriateness as outlined in the application.

### Commission Discussion

The Chair reported that additional letters were received, as follows: from Valerie Schlicher urging new thinking and working with the FEC toward community uses for the buildings; from Barb Agnew, Friends of the Monarch Trail, supporting Plan 1 but not favorable toward removal of some buildings and very concerned about new construction; from Milwaukee Preservation Alliance supporting Plan A only; from Luanne Washburn supporting Plan A only; and from the National Trust for Historic Preservation professionally written by their legal counsel calling for support of Plan A and not allowing Plan B.

City Attorney Kesner responded to a question about the National Trust for Historic Preservation letter, which he said raises two points that are outside the Commission's scope. The first is the conservation easement that should have been retained by Milwaukee County upon sale to the foundation. That issue will be addressed by the State Historical Society. It will be a separate hurdle but is not part of this decision and carries no particular liability for the Commission. The second issue is a fairly broad statement about the delegation of powers. The Commission is not delegating powers to the Mandel Group to make a decision in 20 months but, in fact, must make a decision at this time as to whether the proposal is an economically feasible alternative at the end of 20 months.

The Chair opened the discussion by reminding everyone that, except for brief periods of use as public offices and light manufacturing, the Eschweiler buildings have lain vacant because of their restrictive floor plans. He pointed out that the FEC will have about 20 months, until beginning of construction of the new buildings planned for December 2014, to have raised enough money for the restoration of the exterior of all four Eschweiler buildings and the interior of the Administration building.

Ms. Eiff said that, because it is a two-part process, it is very hard for her to make a commitment. She was concerned about the 20-month fundraising period and indicated that she was struggling with the possibility of the buildings becoming gardens.

Ald. McBride pointed out the lack of any community funding since the 1927 closing of the agricultural school, and said that the fact is we need money on the table. Plan A piggybacks on Plan B—the FEC cannot afford to buy the buildings; the TIF cannot afford to have a purely non-profit use on that land; the City has a TIF that requires a certain level of private investment; Mandel needs the certainty for its lenders. There is no feasible non-profit plan that will allow these buildings to be preserved. Ald. McBride implored people to get behind this entire plan including the FEC's efforts to raise money and to urge the Common Council to support preservation through TIF funding.

Mr. Guskowski spoke in favor of the proposal as submitted. Remember why this land and buildings have been designated, he said. Even in the worst case scenario, the walled garden is extremely attractive and a creative way to celebrate both the agricultural school and the Eschweiler buildings. This is our best opportunity to move forward and find that balance between preservation, environmental concerns, and economic development opportunities for the community.

Mr. Faltinson reported that because his employer was retained by the Mandel Group to investigate historic tax credits for this project, he will vote "present" tonight. He commented that the plan has gotten better with every iteration but expressed some discomfort with the process in that it has made preservation secondary in some respects. He noted that the Commission has heard much testimony and vetted it financially, and he urged the Commission to support Mandel's request. In the future, he recommended tightening up or better defining the historic preservation ordinance in terms of recommendations to the Common Council.

Ms. Caron said she supports the full plan because she sees it as an opportunity to move the ball forward rather than kick it down the road by adding conditions. She expressed confidence that the FEC can raise funds in the window of time provided. Even if it needs to go to Plan B, it would open the administration building and the site to the larger community, she noted.

Ms. Ruzicka cited efforts to save the buildings and the adaptive use by the FEC as a winning solution. Although she never thought she would support giving advance permission to demolish buildings, she said she is not willing to take a chance on the whole deal falling through. Putting the fate of the Eschweiler buildings in the hands of the FEC and their ability to raise funds, she sent a positive message toward their efforts. She expressed faith that the Mandel Group would not prematurely request demolition.

Ms. Mertens supported the proposal from the standpoint of property values and a desire to see Wauwatosa thrive. We don't always get to keep things as they were forever, she commented, but we have done a good job to preserve as much of the buildings as possible.

Mr. Mitchell commented that organizations that sent strongly worded letters haven't come forward with a plan and are not on the scene discussing how to actually save the buildings. Nothing was about to happen until this proposal came along. We all have to work toward a positive solution, he said, and open our minds and wallets to make it a success.

Ald. McBride pointed out that the buildings have fallen into extreme disrepair from a lack of plans, lack of investment, and lack of use, maintenance, and security. The Springsted Report recently commissioned by the City found that, even with investment of provided capital and charitable funds, there would still be a large financial gap. In this plan, we have the ability to save the buildings designed by Alexander Eschweiler. If it falls through, it proves the unfeasibility once again. The Commission's review criteria stated in the historic preservation ordinance requires a decision that the buildings are in such a deteriorated condition that it is not structurally or economically feasible to restore them. While they may be restored structurally, we have heard more than enough evidence to support a finding of not economically feasibility.

Moved by Mr. Guskowski, seconded by Ms. Caron to approve the application as submitted. Upon roll call vote, Ayes: 7;  
Present: 1 (Faltinson)

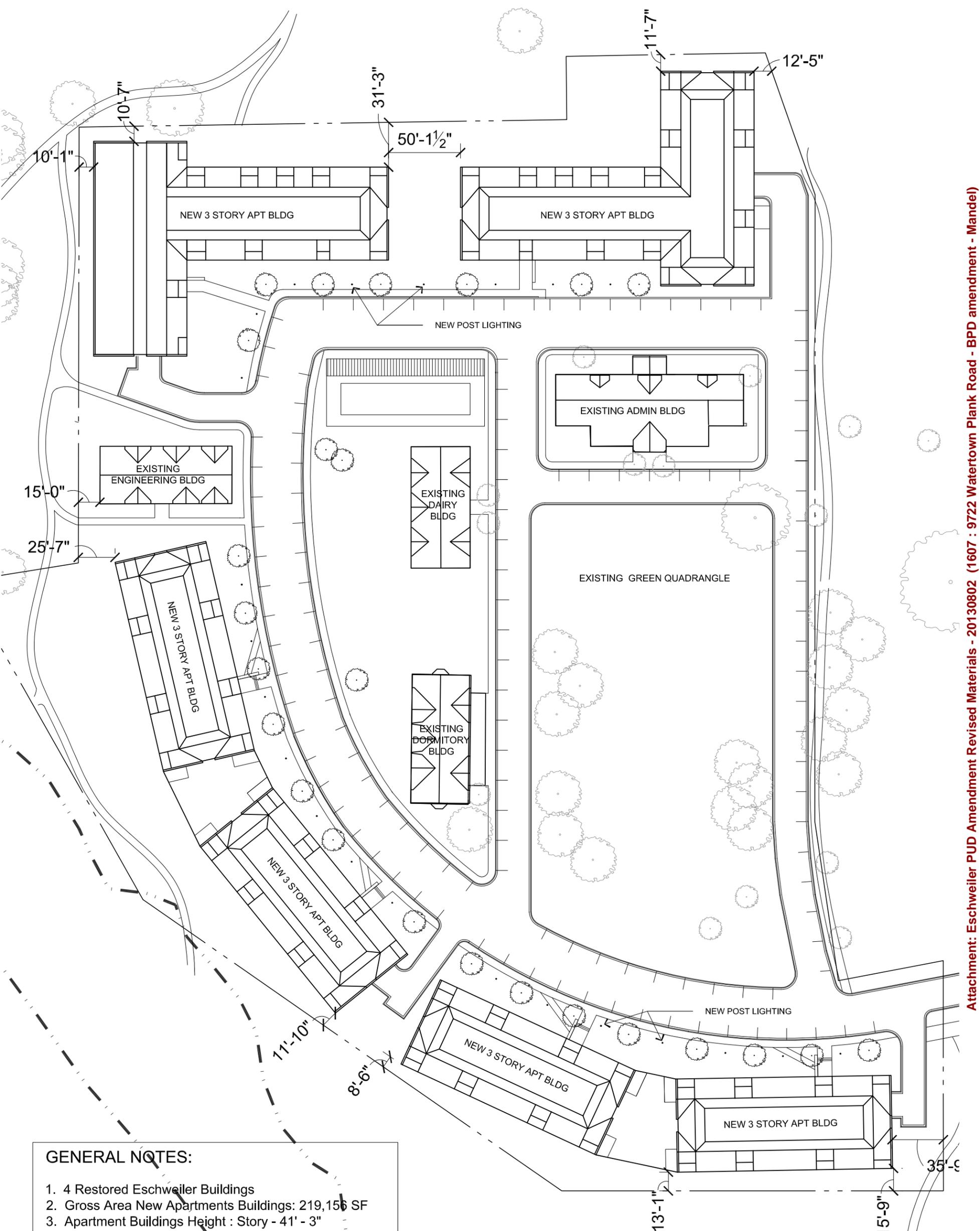
Mr. Barry Mandel, president of the Mandel Group, thanked the Commission for their decision and expressed appreciation for their feedback, and for the feedback from the community, which he said was very helpful in providing other things to consider and making the development better.

The meeting adjourned at 6:40 p.m.

**Next meeting: June 5, 2013**

**ADDENDUM D**

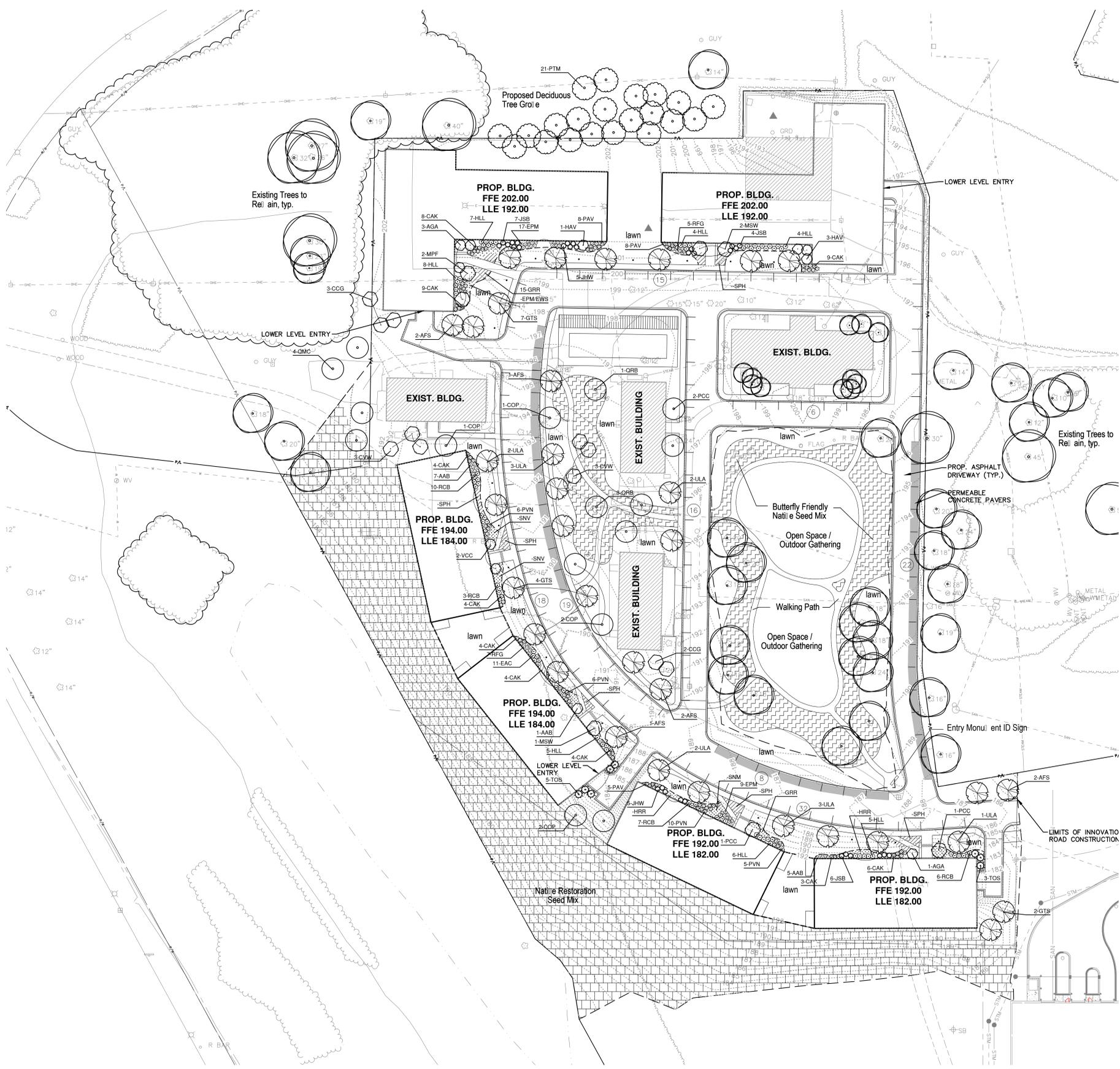
Plans and Renderings



- GENERAL NOTES:**
1. 4 Restored Eschweiler Buildings
  2. Gross Area New Apartments Buildings: 219,156 SF
  3. Apartment Buildings Height : Story - 41' - 3"
  4. Basement Parking = 228 Spots
  5. On-street Surface Parking = 120 Spots

**SITE PLAN - PLAN A**  
 SCALE: 1/64" = 1'-0"

Attachment: Eschweiler PUD Amendment Revised Materials - 20130802 (1607 : 9722 Watertown Plank Road - BPD amendment - Mandel)



### PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	SPACING
<b>SHADE TREES</b>					
AFS	Acer x freemanii 'Sienna'	Sienna Glen Maple	2.5'	BB	as shown
COP	Celtis occidentalis 'Prairie Pride'	Prairie Pride Hackberry	2.5'	BB	as shown
GBL	Ginkgo biloba 'Autumn Gold'	Autumn Gold Ginkgo (male seedless only)	2.5'	BB	as shown
GTS	Gleditsia triacanthos inermis 'Shademaster'	Shademaster Honeylocust	2.5'	BB	as shown
QMC	Quercus macrocarpa	Bur Oak	2.0'	BB	as shown
QRB	Quercus rubra borealis	Northern Red Oak	2.0'	BB	as shown
ULA	Ulmus 'Morton'	Accolade Elm	2.5'	BB	as shown
<b>ORNAMENTAL TREES</b>					
AGA	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	10'-12'clump	BB	as shown
CCG	Crataegus crugallii	Cockspur Hawthorn	single stem	BB	as shown
CVW	Crataegus viridis 'Winter King'	Winter King Hawthorn	single stem	BB	as shown
MPF	Malus 'Prairiefire'	Prairiefire Crabapple	6'-8'	BB	as shown
MSW	Malus 'Spring Snow'	Spring Snow Crabapple	6'-8'	BB	as shown
PTM	Populus tremuloides	Quaking Aspen	single stem	BB	as shown
PCC	Pyrus calleryana 'Chanticleer'	Chanticleer Callery Pear	6'-8'	BB	as shown
<b>DECIDUOUS SHRUBS</b>					
AAB	Aronia arbutifolia 'Brilliantissima'	Brilliant Red Chokeberry	36"	ht	5'
EAC	Euonymus alata 'Compactus'	Dwarf Burning Bush	36"	ht	6'
HAV	Hamamelis Virginiana	Common Witchhazel	48"	ht.	7'
HLL	Hydrangea paniculata 'Little Lime'	Dwarf Limelight Hydrangea	24"	ht.	4'
RCB	Rosa 'Carefree Beauty'	Carefree Beauty Shrub Rose	24"	ht.	4'
VCC	Viburnum carlesii 'compactum'	Compact Koreanspice Viburnum	36"	ht	4'
<b>EVERGREEN SHRUBS</b>					
JHW	Juniperus horizontalis 'Wisconsin'	Wisconsin Juniper	24"	spread	4'
JSB	Juniperus sabinus 'Buffalo'	Buffalo Juniper	24"	spread	4'
TOS	Thuja occidentalis 'Smaragd'	Emerald Arborvitae	6"	ht	4'
<b>PERENNIALS</b>					
EPM	Echinacea purpurea 'Magnus'	Magnus Purple Coneflower	1 gal.	24"	
EVIS	Echinacea purpurea 'White Swan'	White Swan Coneflower	1 gal.	24"	
GRR	Geranium Rozanne	Rozanne Geranium	1 gal.	24"	
HRR	Hemerocallis 'Rosy Returns'	Rosy Returns Daylily	1 gal.	18"	
RFG	Rudbeckia fulgida 'Goldsturm'	Goldsturm Black-Eyed Susan	1 gal.	24"	
SNM	Salvia nemorosa 'May Night'	May Night Salvia	1 gal.	18"	
<b>ORNAMENTAL GRASSES &amp; SEDGES</b>					
CAK	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	1 gal.	36"	
PVN	Panicum virgatum 'Northwind'	Northwind Switch Grass	1 gal.	36"	
SPH	Sporobolus heterolepis	Prairie Dropseed	1 gal.	24"	

### Native Restoration Seed Mix

Botanical Name	Common Name
<b>Permanent Grasses:</b>	
Andropogon gerardii	Big Bluestem
Bouteloua curtipendula	Side Oats Grama
Carex spp.	Prairie Sedge Mix
Elymus canadensis	Canada Wild Rye
Panicum virgatum	Switch Grass
Schizachyrium scoparium	Little Bluestem
Sorghastrum nutans	Indian Grass
<b>Temporary Cover:</b>	
Avena sativa	Common Oat
Lolium multiflorum	Annual Rye
<b>Forbs:</b>	
Anemone cylindrica	Thimbleweed
Asclepias tuberosa	Butterfly Weed
Aster laevis	Smooth Blue Aster
Aster novae-angliae	New England Aster
Aster obovatus	Sky-blue Aster
Baptisia bracteata	Cream Wild indigo
Baptisia lactea	White Wild indigo
Chamaecrista fasciculata	Partridge Pea
Coreopsis lanceolata	Sand Coreopsis
Coreopsis palmata	Prairie Coreopsis
Desmanthus illinoensis	Illinois Sensitive Plant
Desmodium illinoense	Illinois Tick Trefail
Echinacea purpurea	Broad-Leaved Purple Coneflower
Eryngium yuccifolium	Rattlesnake Master
Lespedeza capitata	Round-Headed Bush Clover
Liatris aspera	Rough Blazing Star
Liatris pycnostachya	Prairie Blazing star
Lupinus perennis	Wild Lupine
Monarda fistulosa	Wild Bergamot
Parthenium integrifolium	Wild Quinine
Potentilla arguta	Prairie Cinquefoil
Pycnanthemum virginianum	Virginia Mountain Mint
Ratibida pinnata	Yellow Coneflower
Rudbeckia hirta	Black-Eyed Susan
Siphium integrifolium	Rosin Weed
Siphium laciniatum	Compass Plant
Siphium terebinthaceum	Prairie Dock
Solidago nemoralis	Old-field Goldenrod
Solidago rigida	Stiff Goldenrod
Solidago speciosa	Showy Goldenrod
Veronicastrum virginianum	Culver's Root
Zizia aurea	Heart-leaved Meadow Parsnip

### Butterfly-Friendly Native Restoration Seed Mix

Botanical Name	Common Name
<b>Permanent Grasses:</b>	
Andropogon gerardii	Big Bluestem
Elymus canadensis	Canada Wild Rye
Panicum virgatum	Switch Grass
Schizachyrium scoparium	Little Bluestem
Sorghastrum nutans	Indian Grass
<b>Temporary Cover:</b>	
Avena sativa	Common Oat
Lolium multiflorum	Annual Rye
<b>Forbs:</b>	
Asclepias tuberosa	Butterfly Weed
Asclepias verticillata	Whorled Milkweed
Aster novae-angliae	New England Aster
Baptisia alba	Wild White Indigo
Chamaecrista fasciculata	Partridge Pea
Coreopsis lanceolata	Sand Coreopsis
Dalea purpurea	Purple Prairie Clover
Desmanthus illinoensis	Illinois Sensitive Plant
Echinacea purpurea	Broad-Leaved Purple Coneflower
Eryngium yuccifolium	Rattlesnake Master
Helopsis helianthoides	False Sunflower
Lespedeza capitata	Round-Headed Bush Clover
Liatris aspera	Rough Blazing Star
Monarda fistulosa	Wild Bergamot
Potentilla arguta	Prairie Cinquefoil
Parthenium integrifolium	Wild Quinine
Pycnanthemum virginianum	Common Mountain Mint
Ratibida pinnata	Yellow Coneflower
Rudbeckia hirta	Black-Eyed Susan
Siphium terebinthaceum	Prairie Dock
Solidago nemoralis	Old-Field Goldenrod
Solidago rigida	Stiff Goldenrod
Veronicastrum virginicum	Culver's Root

PROJECT TITLE:  
ESCHWEILER DEVELOPMENT

ISSUE:  
NO. DATE REVISIONS BY

PROJECT INFORMATION:

PROJECT NUMBER: 2011-0068  
DATE: 08-02-2013  
DRAWN BY: JFP  
CHECKED BY: SJF  
APPROVED BY: JTM  
SCALE: AS SHOWN  
FILE PATH: 08\_02\_13\_C\_00\_LANDSCAPE PLAN\_A\_068

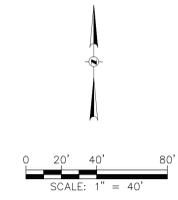
SHEET TITLE:  
LANDSCAPE PLAN A

SHEET NUMBER:

# L100A

**NOTICE:**  
In accordance with Wisconsin statute 182.0175, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

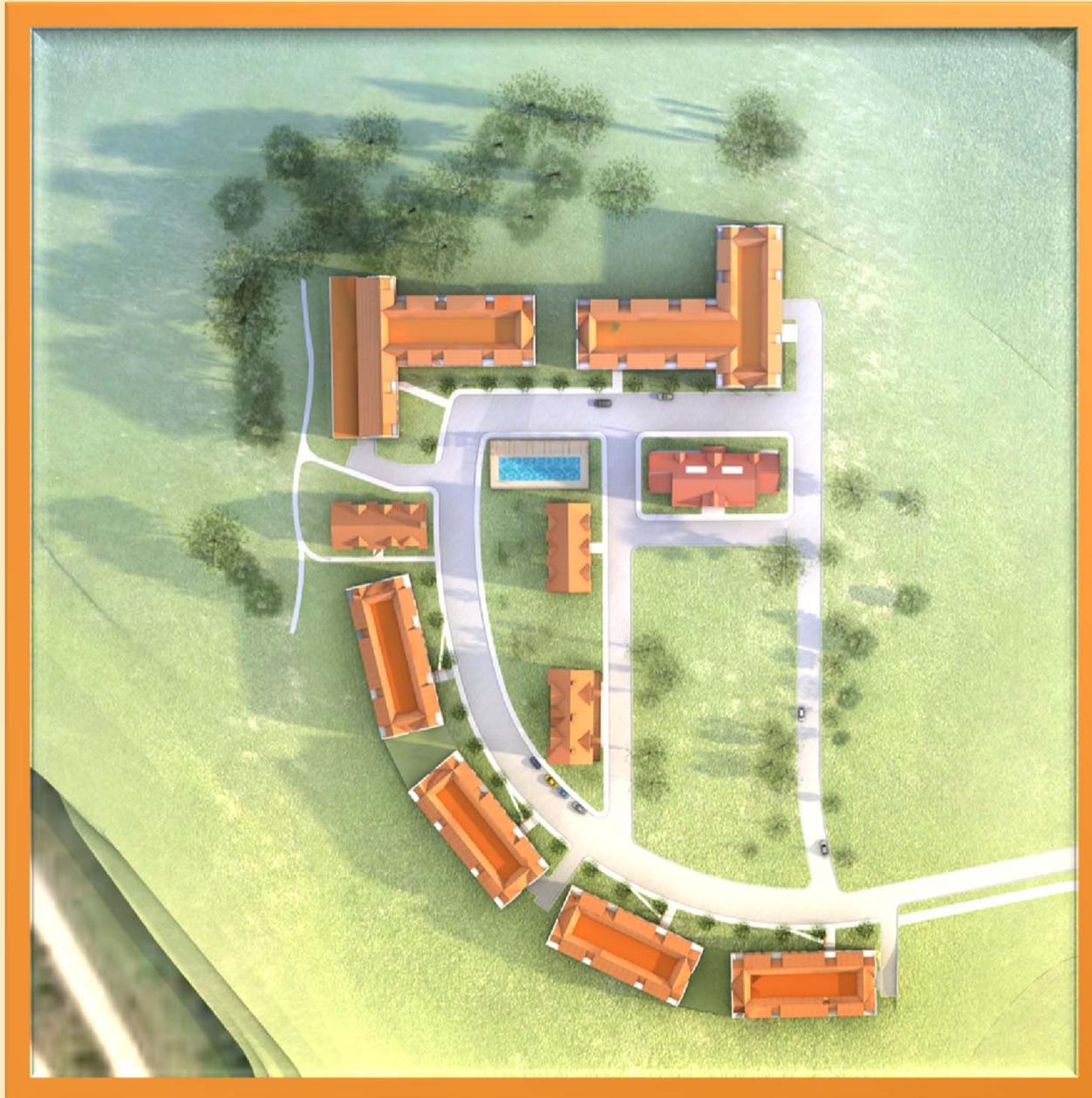
**DISCLAIMER:**  
The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.



### LEGEND

- 100— — EXISTING CONTOUR
- 100----- — PROPOSED CONTOUR
- STM— — PROPOSED STORM SEWER
- SAN— — PROPOSED SANITARY SEWER
- W— — PROPOSED WATER MAIN
- E— — PROPOSED ELECTRICAL
- E— — PROPOSED UTILITY EASEMENT
- — PROPOSED MANHOLE
- — PROPOSED CATCH BASIN
- — PROPOSED GATE VALVE
- ⊕ — PROPOSED HYDRANT
- ⊕ — PROPOSED UTILITY PLUG

# Rendered Site Plan A





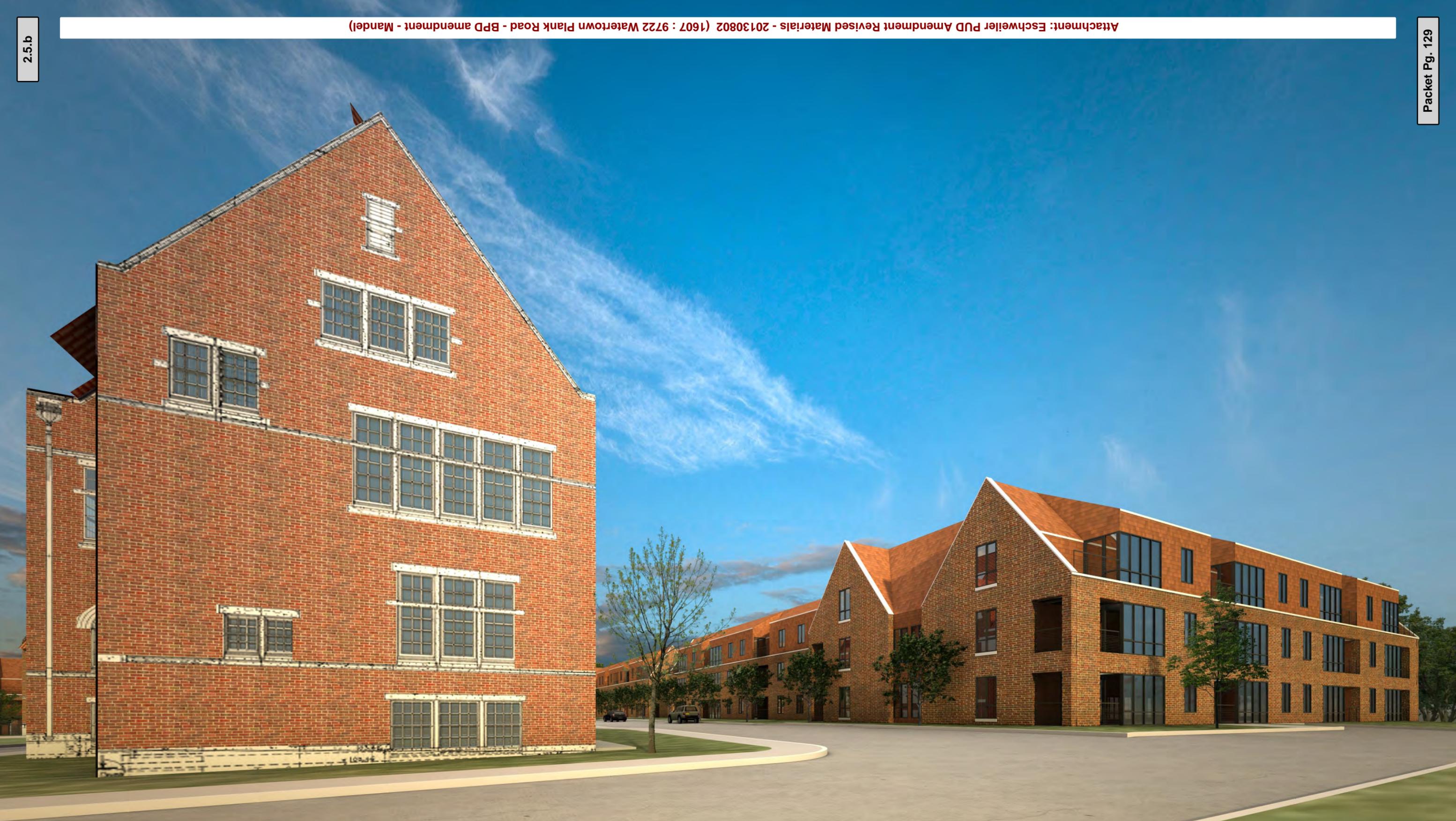
Rendering – Plan A



Rendering - Plan A



Rendering – Plan A – Northwest Building Depiction



Rendering - Plan A



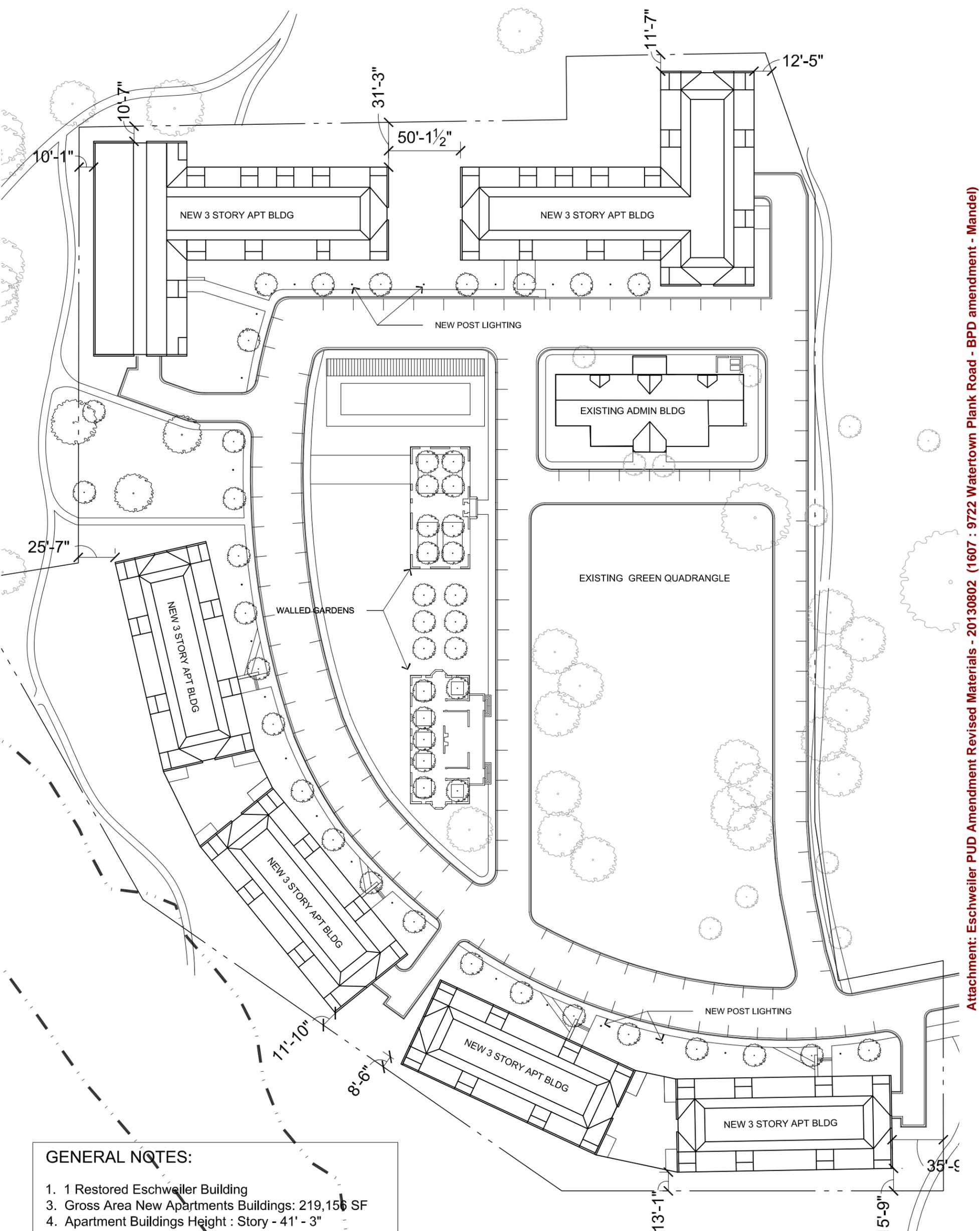
Rendering - Plan A



Rendering - Plan A



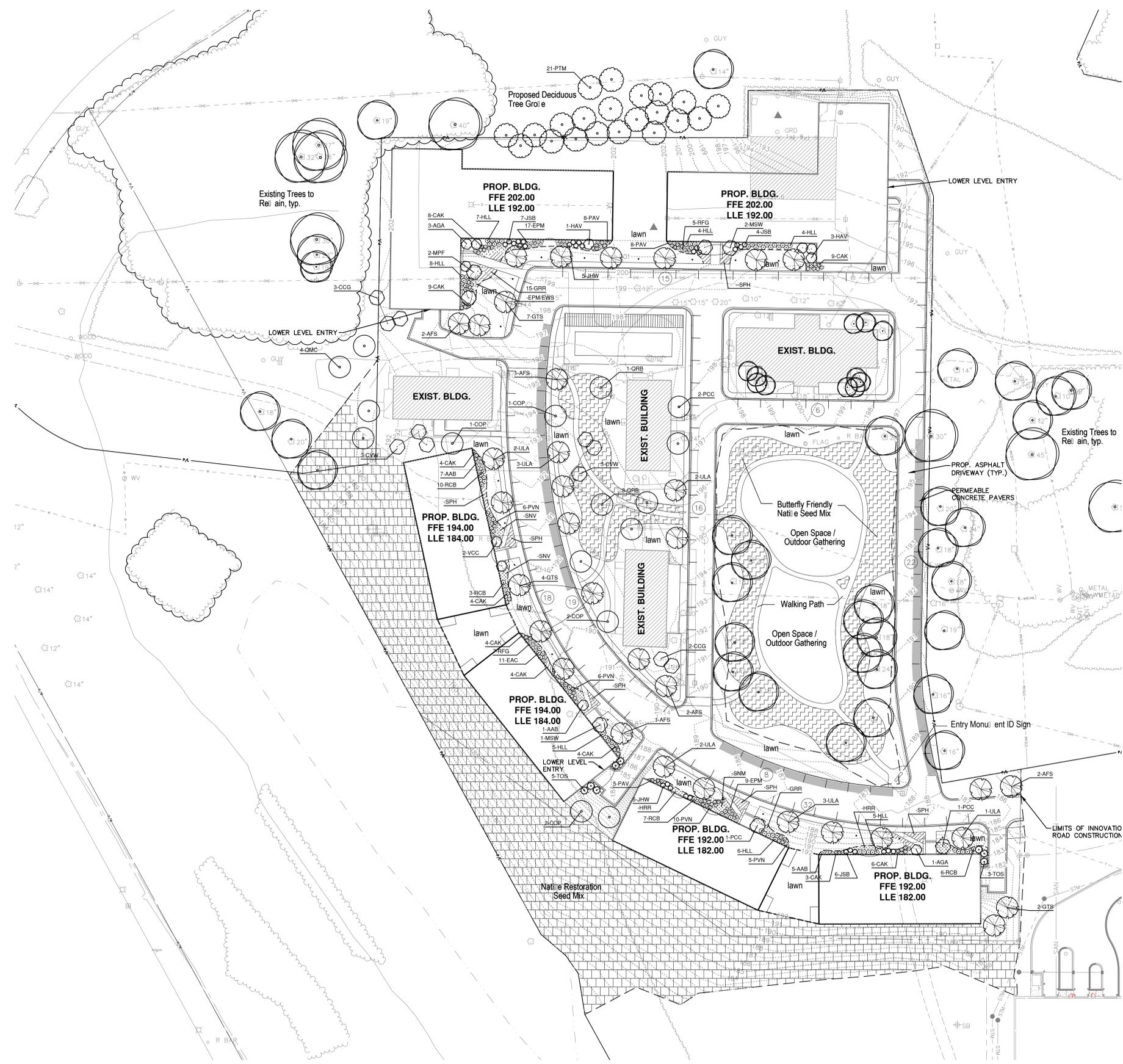
Rendering - Plan A



- GENERAL NOTES:**
1. 1 Restored Eschweiler Building
  3. Gross Area New Apartments Buildings: 219,156 SF
  4. Apartment Buildings Height : Story - 41' - 3"
  5. Basement Parking = 228 Spots
  6. On-street Surface Parking = 120 Spots

**SITE PLAN - PLAN B**  
 SCALE: 1/64" = 1'-0"

Attachment: Eschweiler PUD Amendment Revised Materials - 20130802 (1607 : 9722 Watertown Plank Road - BPD amendment - Mandel)



### PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	SPACING
<b>SHADE TREES</b>					
AFS	Acer x freemanii 'Sienna'	Sienna Glen Maple	2.5'	BB	as shown
COP	Celtis occidentalis 'Prairie Pride'	Prairie Pride Hackberry	2.5'	BB	as shown
GBL	Ginkgo biloba 'Autumn Gold'	Autumn Gold Ginkgo (male seedless only)	2.5'	BB	as shown
GTS	Gleditsia triacanthos inermis 'Shademaster'	Shademaster Honeylocust	2.5'	BB	as shown
QMC	Quercus macrocarpa	Bur Oak	2.0'	BB	as shown
QRB	Quercus rubra borealis	Northern Red Oak	2.0'	BB	as shown
ULA	Ulmus 'Morton'	Accolade Elm	2.5'	BB	as shown
<b>ORNAMENTAL TREES</b>					
AGA	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	10'-12'clump	BB	as shown
CCG	Crataegus crusgall	Cockspur Hawthorn	single stem	BB	as shown
CVW	Crataegus viridis 'Winter King'	Winter King Hawthorn	single stem	BB	as shown
MPF	Malus 'Prairiefire'	Prairiefire Crabapple	6'-8'	BB	as shown
MSW	Malus 'Spring Snow'	Spring Snow Crabapple	6'-8'	BB	as shown
PTM	Populus tremuloides	Quaking Aspen	single stem	BB	as shown
PCC	Pyrus calleryana 'Chanticleer'	Chanticleer Callery Pear	6'-8'	BB	as shown
<b>DECIDUOUS SHRUBS</b>					
AAB	Aronia arbutifolia 'Brilliantissima'	Brilliant Red Chokeberry	36" ht		5'
EAC	Euonymus alata 'Compactus'	Dwarf Burning Bush	36" ht		6'
HAV	Hamamelis Virginiana	Common Witchhazel	48" ht.		7'
HLL	Hydrangea paniculata 'Little Lime'	Dwarf Limelight Hydrangea	24" ht.		4'
RCB	Rosa 'Carefree Beauty'	Carefree Beauty Shrub Rose	24" ht.		4'
VCC	Viburnum carlesii 'compactum'	Compact Koreanspice Viburnum	36" ht		4'
<b>EVERGREEN SHRUBS</b>					
JHW	Juniperus horizontalis 'Wisconsin'	Wisconsin Juniper	24" spread		4'
JSB	Juniperus sabinia 'Buffalo'	Buffalo Juniper	24" spread		4'
TOS	Thuja occidentalis 'Smaragd'	Emerald Arborvitae	6" ht		4'
<b>PERENNIALS</b>					
EPM	Echinacea purpurea 'Magnus'	Magnus Purple Coneflower	1 gal.		24"
EVIS	Echinacea purpurea 'White Swan'	White Swan Coneflower	1 gal.		24"
GRR	Geranium Rozanne	Rozanne Geranium	1 gal.		24"
HRR	Hemerocallis 'Rosy Returns'	Rosy Returns Daylily	1 gal.		18"
RFG	Rudbeckia fulgida 'Goldsturm'	Goldsturm Black-Eyed Susan	1 gal.		24"
SNM	Salvia nemorosa 'May Night'	May Night Salvia	1 gal.		18"
<b>ORNAMENTAL GRASSES &amp; SEDGES</b>					
CAK	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	1 gal.		36"
PVN	Panicum virgatum 'Northwind'	Northwind Switch Grass	1 gal.		36"
SPH	Sporobolus heterolepis	Prairie Dropseed	1 gal.		24"

### Native Restoration Seed Mix

Botanical Name	Common Name
<b>Permanent Grasses:</b>	
Andropogon gerardii	Big Bluestem
Bouteloua curtipendula	Side Oats Grama
Carex spp.	Prairie Sedge Mix
Elymus canadensis	Canada Wild Rye
Panicum virgatum	Switch Grass
Schizachyrium scoparium	Little Bluestem
Sorghastrum nutans	Indian Grass
<b>Temporary Cover:</b>	
Avena sativa	Common Oat
Lolium multiflorum	Annual Rye
<b>Forbs:</b>	
Anemone cylindrica	Thimbleweed
Asclepias tuberosa	Butterfly Weed
Aster laevis	Smooth Blue Aster
Aster novae-angliae	New England Aster
Aster obovatus	Sky-blue Aster
Baptisia bracteata	Cream Wild indigo
Baptisia lactea	White Wild indigo
Chamaecrista fasciculata	Partridge Pea
Coreopsis lanceolata	Sand Coreopsis
Coreopsis palmata	Prairie Coreopsis
Desmanthus illinoensis	Illinois Sensitive Plant
Desmodium illinoense	Illinois Tick Trefail
Echinacea purpurea	Broad-Leaved Purple Coneflower
Eryngium yuccifolium	Rattlesnake Master
Lespedeza capitata	Round-Headed Bush Clover
Liatris aspera	Rough Blazing Star
Liatris pycnostachya	Prairie Blazing star
Lupinus perennis	Wild Lupine
Monarda fistulosa	Wild Bergamot
Parthenium integrifolium	Wild Quinine
Potentilla arguta	Prairie Cinquefoil
Pycnanthemum virginianum	Virginia Mountain Mint
Ratibida pinnata	Yellow Coneflower
Rudbeckia hirta	Black-Eyed Susan
Siphium integrifolium	Rosin Weed
Siphium laciniatum	Compass Plant
Siphium terebinthaceum	Prairie Dock
Solidago nemoralis	Old-field Goldenrod
Solidago rigida	Stiff Goldenrod
Solidago speciosa	Showy Goldenrod
Veronicastrum virginianum	Culver's Root
Zizia aurea	Heart-leaved Meadow Parsnip

### Butterfly-Friendly Native Restoration Seed Mix

Botanical Name	Common Name
<b>Permanent Grasses:</b>	
Andropogon gerardii	Big Bluestem
Elymus canadensis	Canada Wild Rye
Panicum virgatum	Switch Grass
Schizachyrium scoparium	Little Bluestem
Sorghastrum nutans	Indian Grass
<b>Temporary Cover:</b>	
Avena sativa	Common Oat
Lolium multiflorum	Annual Rye
<b>Forbs:</b>	
Asclepias tuberosa	Butterfly Weed
Asclepias verticillata	Whorled Milkweed
Aster novae-angliae	New England Aster
Baptisia alba	Wild White Indigo
Chamaecrista fasciculata	Partridge Pea
Coreopsis lanceolata	Sand Coreopsis
Dalea purpurea	Purple Prairie Clover
Desmanthus illinoensis	Illinois Sensitive Plant
Echinacea purpurea	Broad-Leaved Purple Coneflower
Eryngium yuccifolium	Rattlesnake Master
Helopsis helianthoides	False Sunflower
Lespedeza capitata	Round-Headed Bush Clover
Liatris aspera	Rough Blazing Star
Monarda fistulosa	Wild Bergamot
Potentilla arguta	Prairie Cinquefoil
Parthenium integrifolium	Wild Quinine
Pycnanthemum virginianum	Common Mountain Mint
Ratibida pinnata	Yellow Coneflower
Rudbeckia hirta	Black-Eyed Susan
Siphium terebinthaceum	Prairie Dock
Solidago nemoralis	Old-Field Goldenrod
Solidago rigida	Stiff Goldenrod
Veronicastrum virginicum	Culver's Root

PROJECT TITLE:  
ESCHWEILER DEVELOPMENT

ISSUE:  
NO. DATE REVISIONS BY

PROJECT INFORMATION:  
PROJECT NUMBER: 2011-0068  
DATE: 08-02-2013  
DRAWN BY: JFP  
CHECKED BY: SJF  
APPROVED BY: JTM  
SCALE: AS SHOWN  
FILE PATH: 08\_02\_13\_C\_00\_LANDSCAPE PLAN\_A\_068

SHEET TITLE:  
LANDSCAPE PLAN A

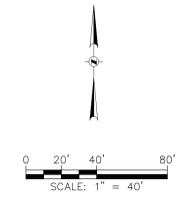
SHEET NUMBER:

# L100A

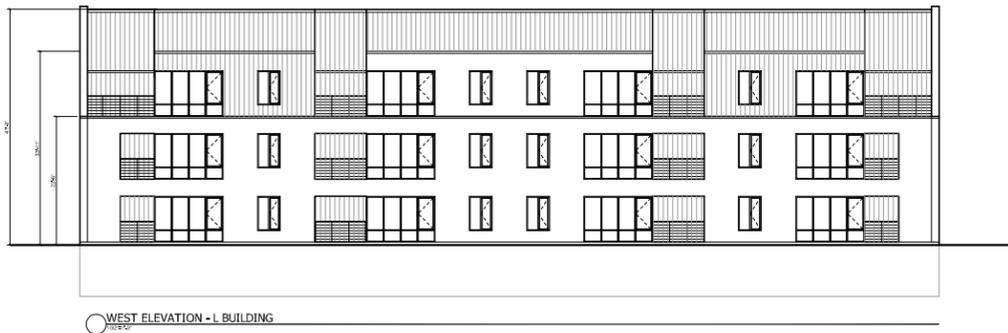
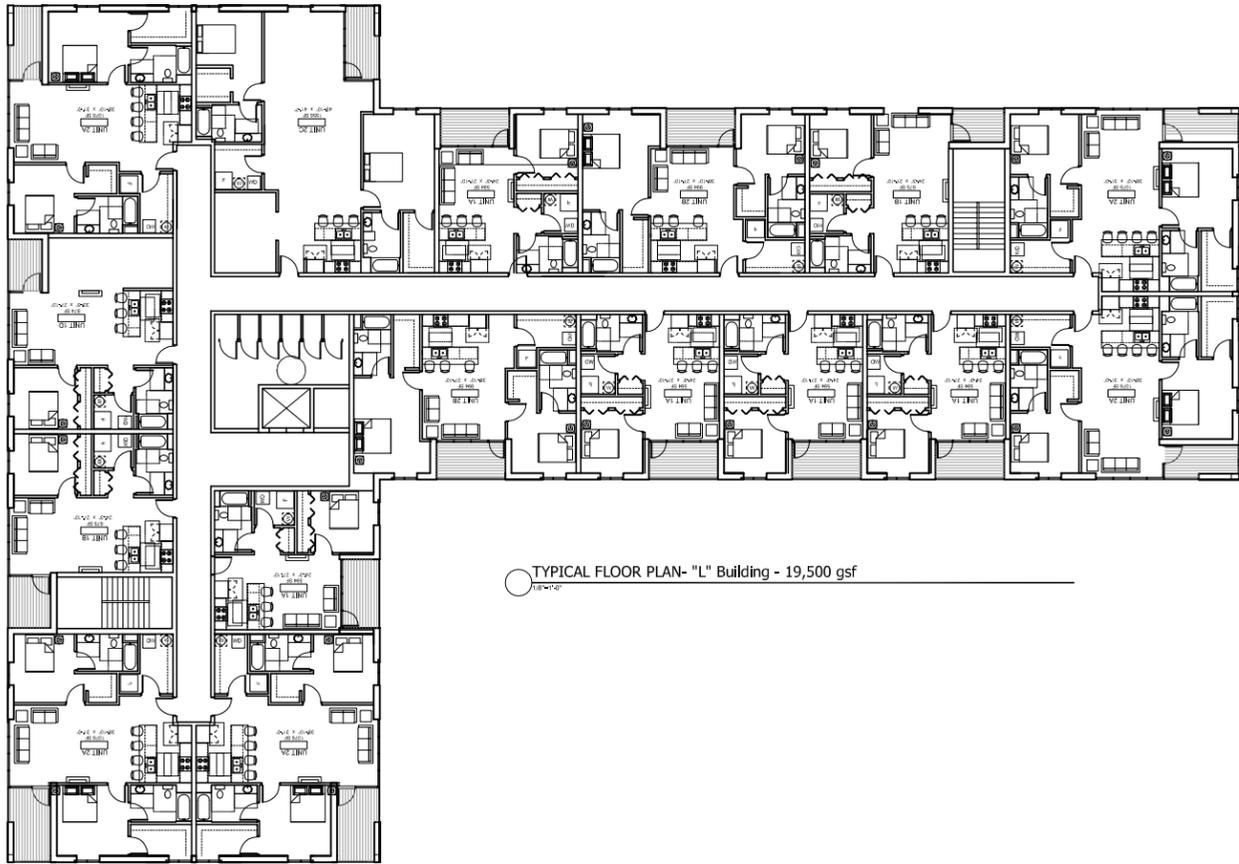
**NOTICE:**  
In accordance with Wisconsin statute 182.0175, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

**DISCLAIMER:**  
The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.

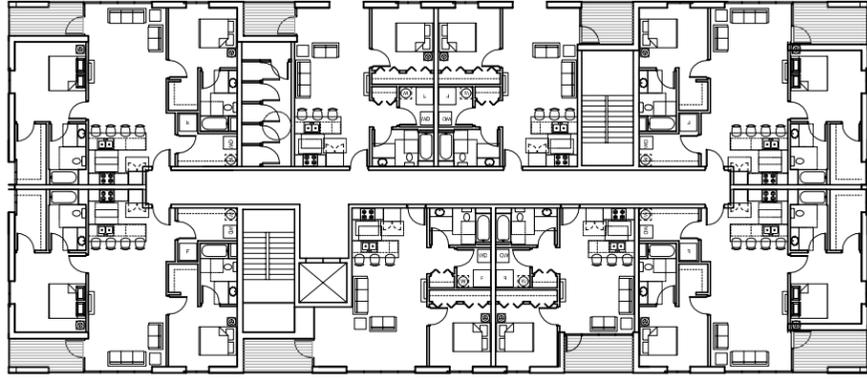
**NOTE: LANDSCAPE - PLAN B WILL BE SUBSTANTIALLY SIMILAR TO LANDSCAPE - PLAN A EXCEPT FOR AREA AROUND ENGINEERING BUILDING (WESTERN - MOST ESCHWEILER BUILDING)**



- ### LEGEND
- 100 — — EXISTING CONTOUR
  - 100 ----- PROPOSED CONTOUR
  - STM--- PROPOSED STORM SEWER
  - SAN--- PROPOSED SANITARY SEWER
  - W--- PROPOSED WATER MAIN
  - E--- PROPOSED ELECTRICAL
  - U--- PROPOSED UTILITY EASEMENT
  - — PROPOSED MANHOLE
  - — PROPOSED CATCH BASIN
  - ⊙ — PROPOSED GATE VALVE
  - ⊕ — PROPOSED HYDRANT
  - ⊘ — PROPOSED UTILITY PLUG



### Typical Plans and Elevations - L Building



TYPICAL FLOOR PLAN- 150' STRAIGHT - 9,750 gsf



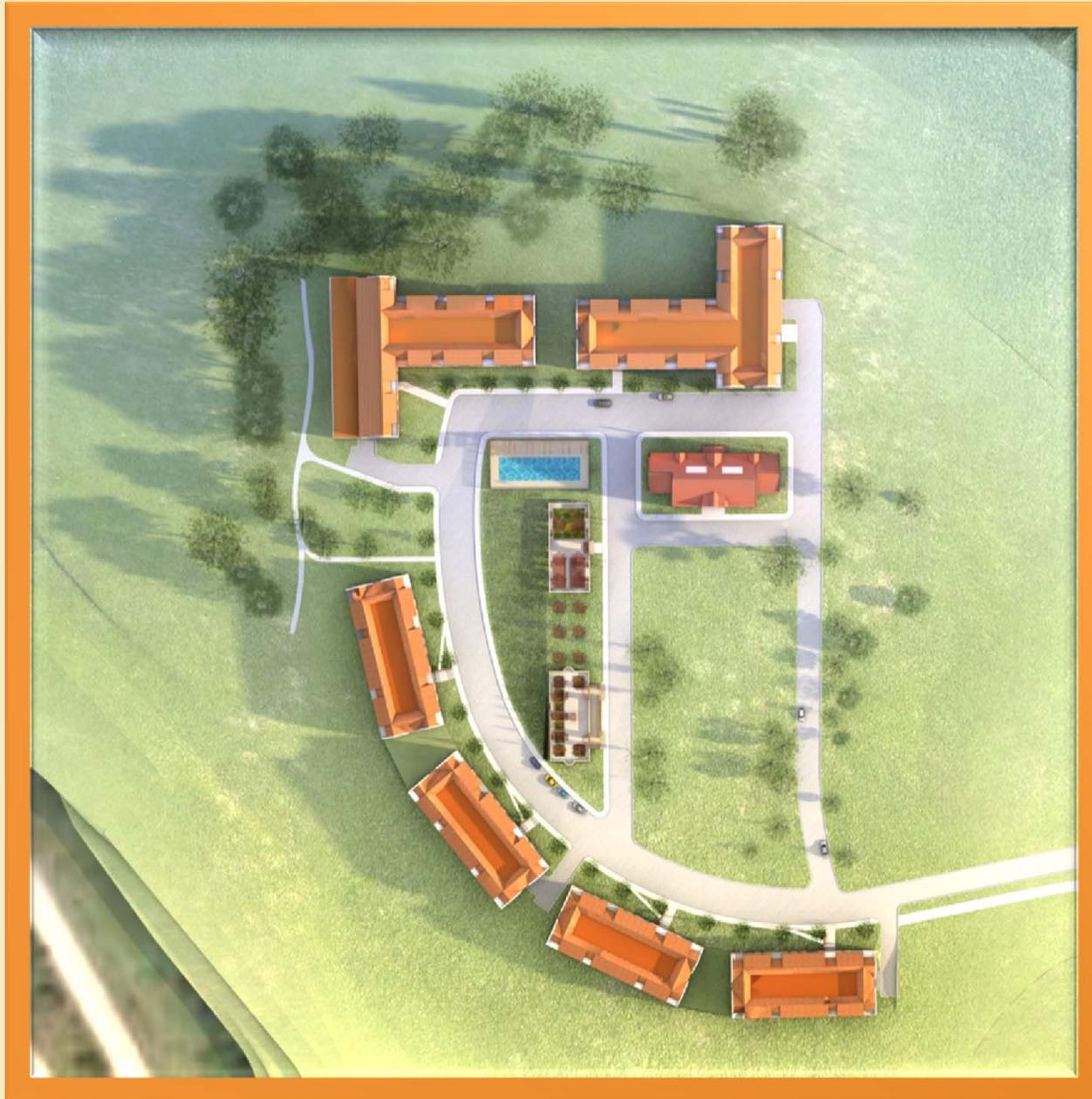
NORTH ELEVATION



EAST ELEVATION

### Typical Plans and Elevations - Straight Building

## Rendered Site Plan B





Rendering - Plan B



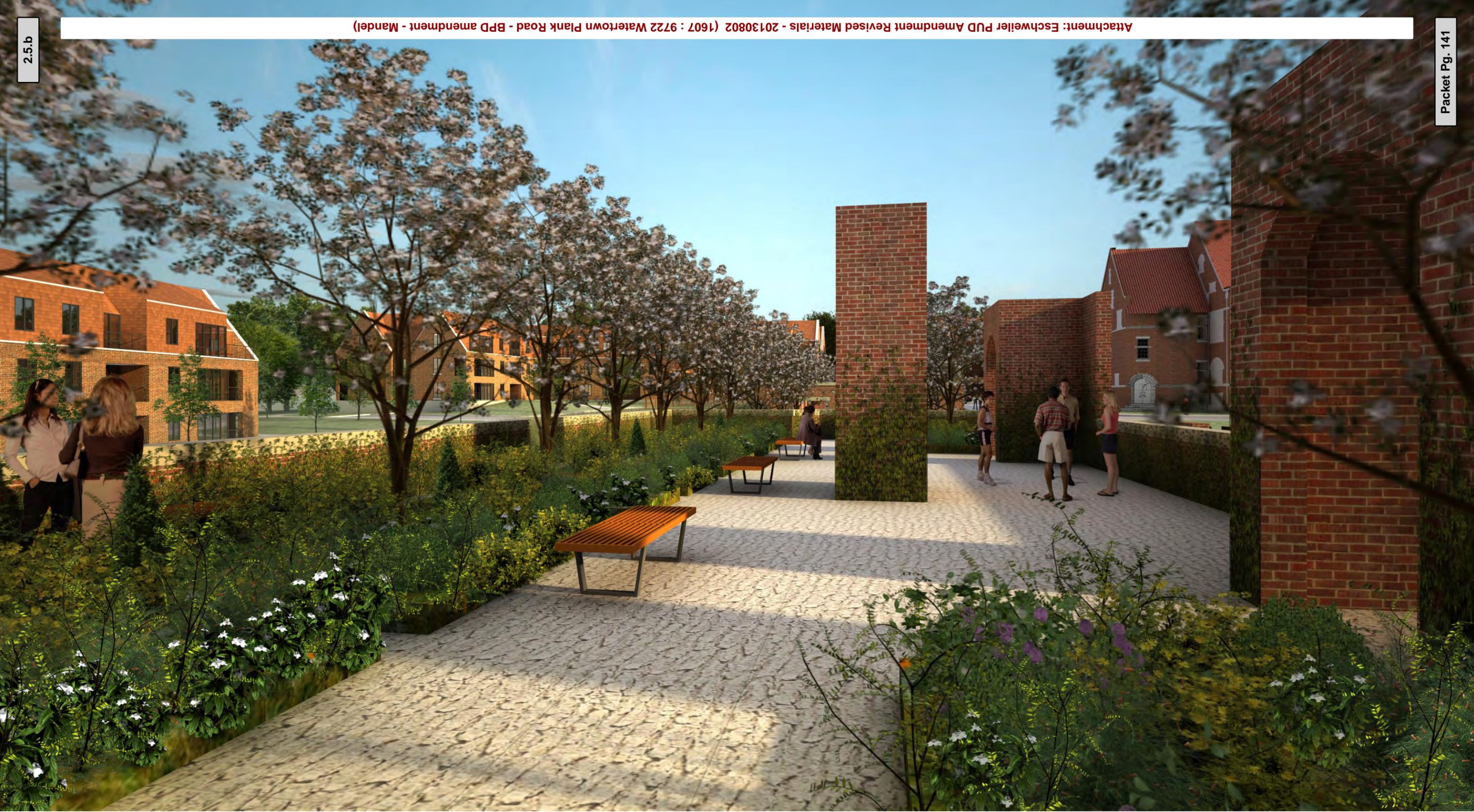
### Rendering - Plan B

Note: See Plan A - Northwest Building Depiction for Proper Rendering of Northwest Building



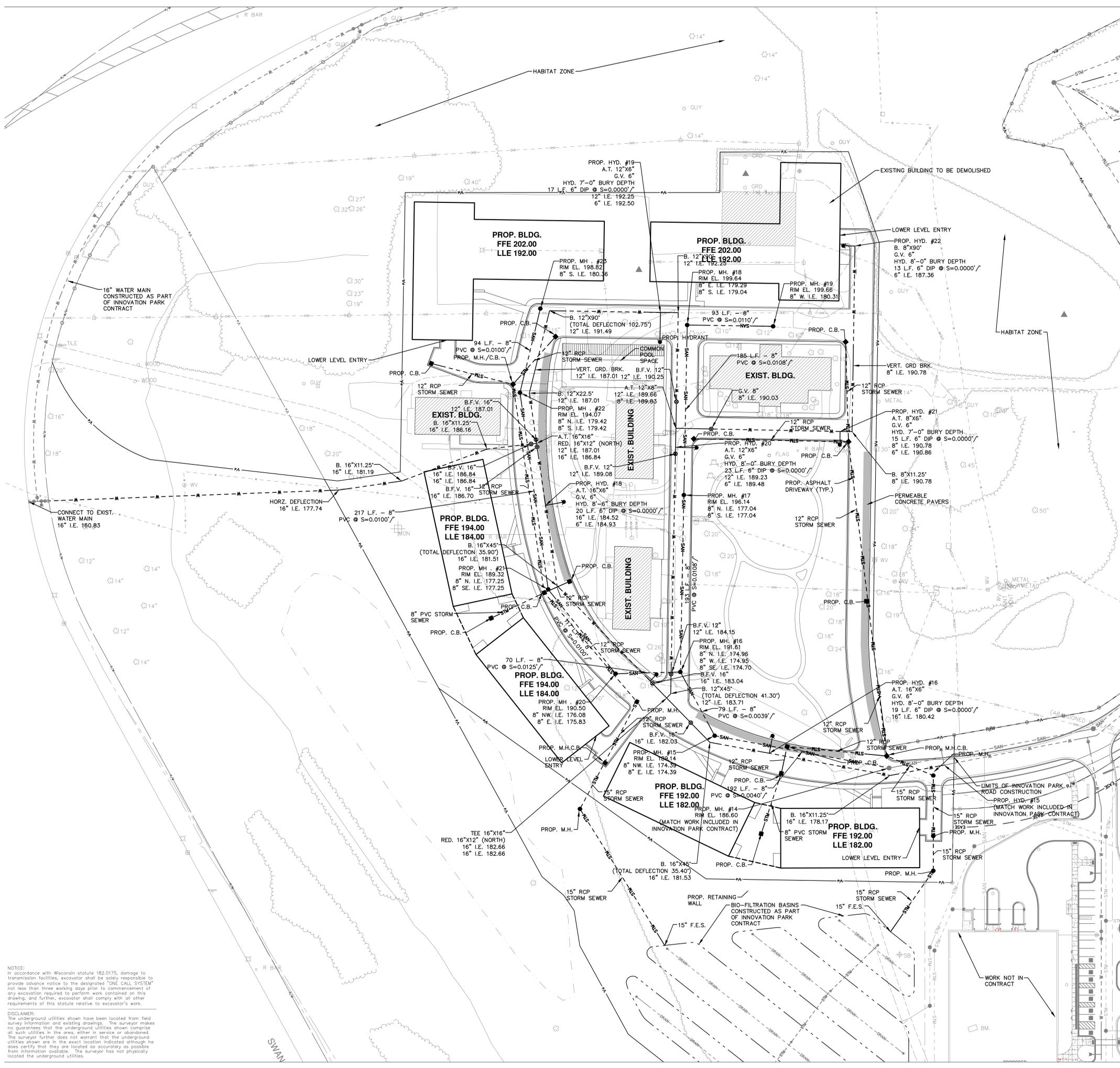
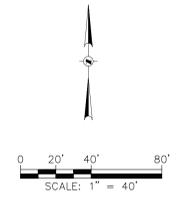
## Rendering - Plan B

Note: See Plan A - Northwest Building Depiction for Proper Rendering of Northwest Building



Rendering - Plan B





PROJECT TITLE:  
ESCHWEILER DEVELOPMENT

ISSUE:  
NO. DATE REVISIONS BY

**UTILITY NOTES**  
1. EXISTING UTILITIES SHOWN ARE TO BE DEMOLISHED OR ABANDONED IN PLACE IN HABITAT AREAS.

PROJECT INFORMATION:  
PROJECT NUMBER: 2011-0068  
DATE: 08-02-2013  
DRAWN BY: JFP  
CHECKED BY: SJF  
APPROVED BY: JTM  
SCALE: AS SHOWN  
FILE PATH: C:\00\_ESCHWILER\UTILITY PLAN A\_068

- LEGEND**
- STM — PROPOSED STORM SEWER
  - SAN — PROPOSED SANITARY SEWER
  - W — PROPOSED WATER MAIN
  - E — PROPOSED ELECTRICAL
  - — PROPOSED UTILITY EASEMENT
  - — PROPOSED MANHOLE
  - — PROPOSED CATCH BASIN
  - — PROPOSED GATE VALVE
  - — PROPOSED HYDRANT
  - — PROPOSED UTILITY PLUG

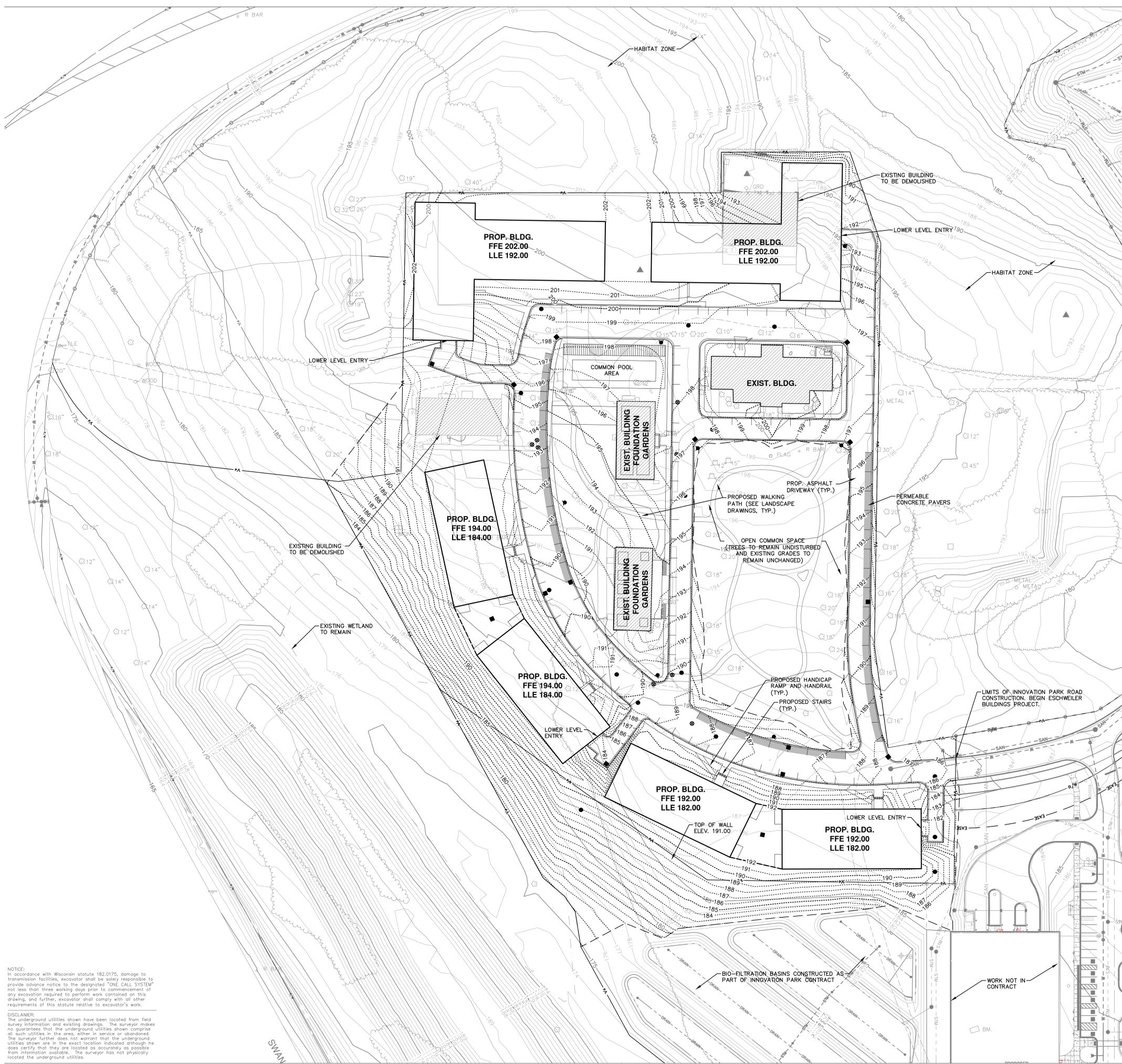
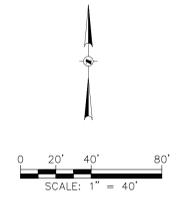
SHEET TITLE:  
SITE UTILITY PLAN A

SHEET NUMBER:  
**C200A**

**NOTICE:**  
In accordance with Wisconsin statute 182.0175, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

**DISCLAIMER:**  
The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.

L:\projects\20110824\ESCHWILER\00\_C200A.dwg, 8/2/2013 11:51:59 AM, 1752.DWG, 10:00:00



PROJECT TITLE:  
ESCHWEILER DEVELOPMENT

ISSUE:  
NO. DATE REVISIONS BY

PROJECT INFORMATION:

PROJECT NUMBER: 2011-0068  
DATE: 08-02-2013  
DRAWN BY: JFP  
CHECKED BY: SJF  
APPROVED BY: JTM  
SCALE: AS SHOWN  
FILE PATH: C:\00\_ESCHL SITE PLAN\_B\_000

**GENERAL NOTES:**  
1. LAND DISTURBANCE AND CONSTRUCTION ACTIVITIES ARE TO REMAIN OUTSIDE OF HABITAT ZONE AREAS EXCEPT TO ALLOW FOR CONSTRUCTION OF EXPANDED MONARCH TRAILS.  
2. EXISTING UTILITIES SHOWN ARE TO BE DEMOLISHED OR ABANDONED IN PLACE IN HABITAT AREAS.

**LEGEND**

- 100— —EXISTING CONTOUR
- ..... —PROPOSED CONTOUR
- —PROPOSED MANHOLE
- —PROPOSED CATCH BASIN
- ⊕ —PROPOSED GATE VALVE
- ⊕ —PROPOSED HYDRANT
- ⊕ —PROPOSED UTILITY PLUG

SHEET TITLE:  
SITE LAYOUT AND GRADING PLAN B

SHEET NUMBER:

**NOTICE:**  
In accordance with Wisconsin statute 182.0175, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

**DISCLAIMER:**  
The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.



**Carla Ledesma**

---

**From:** Cheryl Nenn [cheryl\_nenn@milwaukeekeeper.org]  
**Sent:** Monday, August 12, 2013 5:45 PM  
**To:** Alan Kesner  
**Cc:** Tamara Szudy  
**Subject:** Plan Commission Meeting Tonight

**Importance:** High

Hi Alan--

*RE: 5. Request by Phil Aiello, Mandel Group Properties, LLC, and David Gilbert, UWM Real Estate Foundation for a Planned Development Amendment at approximately 9722 Watertown Plank Road to construct a multifamily development and related development in the Eschweiler buildings*

Not sure if you are going to get this in time or not, but I'm not going to be able to make it to the Plan Commission. Not sure if my opinion counts either, as Ald. Donegan said in the comments of his recent Tosa Now article about the Eschweilers that I didn't have the right to an opinion since I don't live in Wauwatosa. However, as someone concerned about the rivers that all of this runoff is going to go to--namely the Menomonee River and Underwood Creek--I oppose any increased square footage for residential at the site than what is already in the PDA. The Master Plan that was developed as part of the PDA originally stated the max of development in the residential portion of the site would be 200,000 square feet, INCLUDING the Escweiler Buildings. Mandel is asking for 265,000 square feet of NEW development, NOT including the existing footprint of the Eschweilers, which are still in question (except for the main building, which should be included in the square footage as it seems that it's going to be retained for their "clubhouse" regardless of what happens with the FEC). I fully expect the Commission to approve the excess square footage, but increasingly it seems pointless for the public to be involved in any planning efforts for the County Grounds, because all the negotiated agreements seem to be thrown out the window in the end. At our last meeting, UWM-REF folks said they were not even aware that Tosa had an approved trail or recreational plan for the County Grounds (after I asked if they referenced it in developing their trail plan). It's my understanding from talking to Barb Agnew that plans she originally was given for the habitat restoration/landscaping at the site has also been changed significantly as part of this Mandel submittal.

Feel free to submit this to the clerk for the record. FYI, we have a meeting with DNR next Monday night at 5:30 re: the concrete crunching site if you are interested in attending.

Best,

Cheryl

Cheryl Nenn  
 Riverkeeper  
 Milwaukee Riverkeeper  
 1845 N. Farwell Ave Suite 100  
 Milwaukee, WI 53202  
 (414) 287-0207 x2  
 (414) 378-3043 (cell)

Attachment: Cheryl Nenn email (1607 : 9722 Watertown Plank Road - BPD amendment - Mandel)



Attachment: Cheryl Nenn email (1607 : 9722 Watertown Plank Road - BPD amendment - Mandel)

## Carla Ledesma

---

**From:** Paulette Enders  
**Sent:** Monday, August 12, 2013 11:30 AM  
**To:** Kathleen Ehley; Tamara Szudy  
**Subject:** FW: Tonight's Plan Commission

FYI

Paulette Enders, EDFP  
 Development Director  
 7725 W. North Avenue  
 Wauwatosa, WI 53213  
 414-479-3531 (Direct)  
 414-479-3532 (Fax)  
[www.wauwatosa.net](http://www.wauwatosa.net)

---

**From:** Barb Agnew [<mailto:barb@themonarchtrail.org>]  
**Sent:** Monday, August 12, 2013 11:23 AM  
**To:** Kathleen Causier  
**Cc:** Paulette Enders; 'Phillip Aiello'  
**Subject:** Tonight's Plan Commission

RE: Item#5. Tonight's agenda

Request by Phil Aiello, Mandel Group Properties, LLC, and David Gilbert, UWM Real Estate Foundation for a Planned Development Amendment at approximately 9722 Watertown Plank Road to construct a multifamily development and related development in the Eschweiler buildings

Dear members of the Wauwatosa Plan Commission,

First, I would like to say that Mandel Group and the UWM Real Estate Foundation have been very accommodating with listening to the concerns raised by environmentalists and the public regarding the development of Innovation Campus and now, with this residential piece of the project.

As a background perspective, when the protections were placed on the habitat area the team who worked on the criteria for landscaping were under the impression that there would be 200,000 sq feet including the Eschweiler's and that would mean a smaller footprint for the residential piece. The sq footage has increased significantly, making it critically important that the landscaping help offset the additional built space by providing a consistent character with a supportive natural landscape.

Our group sat down with the landscape architects in June, but I can't say this current plan being shown reflects all of our discussions.

I would like to ask if a contingency can be added: - that changes can be made to this landscape plan if it receives Plan Commission approval.

Attachment: Barb Agnew email (1607 : 9722 Watertown Plank Road - BPD amendment - Mandel)

Barb Agnew  
Friends of the Monarch Trail  
[www.themonarchtrail.org](http://www.themonarchtrail.org)  
12326 W Watertown Plank rd  
Wauwatosa Wi  
414-454-0222

Resident and business owner, Wauwatosa  
Member: Habitat Restoration Plan Team

Attachment: Barb Agnew email (1607 : 9722 Watertown Plank Road - BPD amendment - Mandel)

RESOLUTION

WHEREAS, Curtis Stang, UWM Innovation Park, LLC, and Craig Dillman, Milwaukee County, have submitted a preliminary plan for a Business Planned Development on an 87.8-acre site located at the northeast corner of Hwy 45 and Watertown Plank Road; and

WHEREAS, these preliminary plans have been reviewed and recommended by the City Plan Commission, the Design Review Board, and the Committee on Community Development; and

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City of Wauwatosa, Wisconsin hereby approves the preliminary plans for a Business Planned Development on an 87.8-acre site located at the northeast corner of Hwy 45 and Watertown Plank Road submitted by Curtis Stang, UWM Innovation Park, LLC, and Craig Dillman, Milwaukee County based upon the plans submitted to the City and the public hearings conducted on this matter and subject to the following conditions:

- 1) plans showing adequate sewer capacity, environmental remediation, and stormwater management subject to approval by the City Engineer;
- 2) parking lot and traffic circulation plans including a traffic impact study subject to approval by the City Engineer;
- 3) plans for water supply to the site subject to approval by the City Water Superintendent;
- 4) building plans designating design and materials recommended by the City Design Review Board prior to issuing building permits;
- 5) emergency vehicle access plan subject to approval by City police and fire departments;
- 6) final sale and recorded legal division of the parcel;
- 7) development of the 8.7 acre parcel identified for residential development is limited to a maximum of 200,000 sq.ft. and final site plan to be submitted for approval by Plan Commission and Common Council;
- 8) land clearance shall be subject to erosion control approval and specific building permit;
- 9) development to stay within the previously approved parameters of 0.46 FAR;
- 10) the land immediately east of the identified habitat area (Outlot #1) shall remain open space, but installation of utilities, access road, and walking paths will be allowed;
- 11) Outlot #2 will remain undeveloped; those portions of Outlot #2 not utilized by the WI DOT for design of the Watertown Plank Road/Swan Boulevard intersection shall remain undeveloped. Any northern portion not needed for intersection design will remain undeveloped and returned to designated habitat protection area and any land on the southern portion will require further Common Council approval via a plan amendment process;
- 12) A plan and master association created supporting the habitat area will be established;
- 13) Removal of the text in the proposed site guidelines referring to a transition of the butterfly route to the expanded habitat area to the east on County park land; and
- 14) The Historic Preservation Commission will serve as the Design Review Board for the residential portion of the development.

Action of the Common Council

Passed and dated MAY 0 4 2010

Carla A. Medema  
MAY 0 5 2010 City Clerk

Approved Jim D. De  
Mayor

Adopted MAY 0 4 2010

See page 228 Journal No. 108

Attachment: R-10-078 Innovation Park Prelim Plan (1607 : 9722 Watertown Plank Road - BPD amendment - Mandel)